

SOM CENTER RD. COMMERCIAL SIDEWALK WILLOUGHBY, OH

LAKE COUNTY

FEBRUARY, 2026

INDEX OF SHEETS

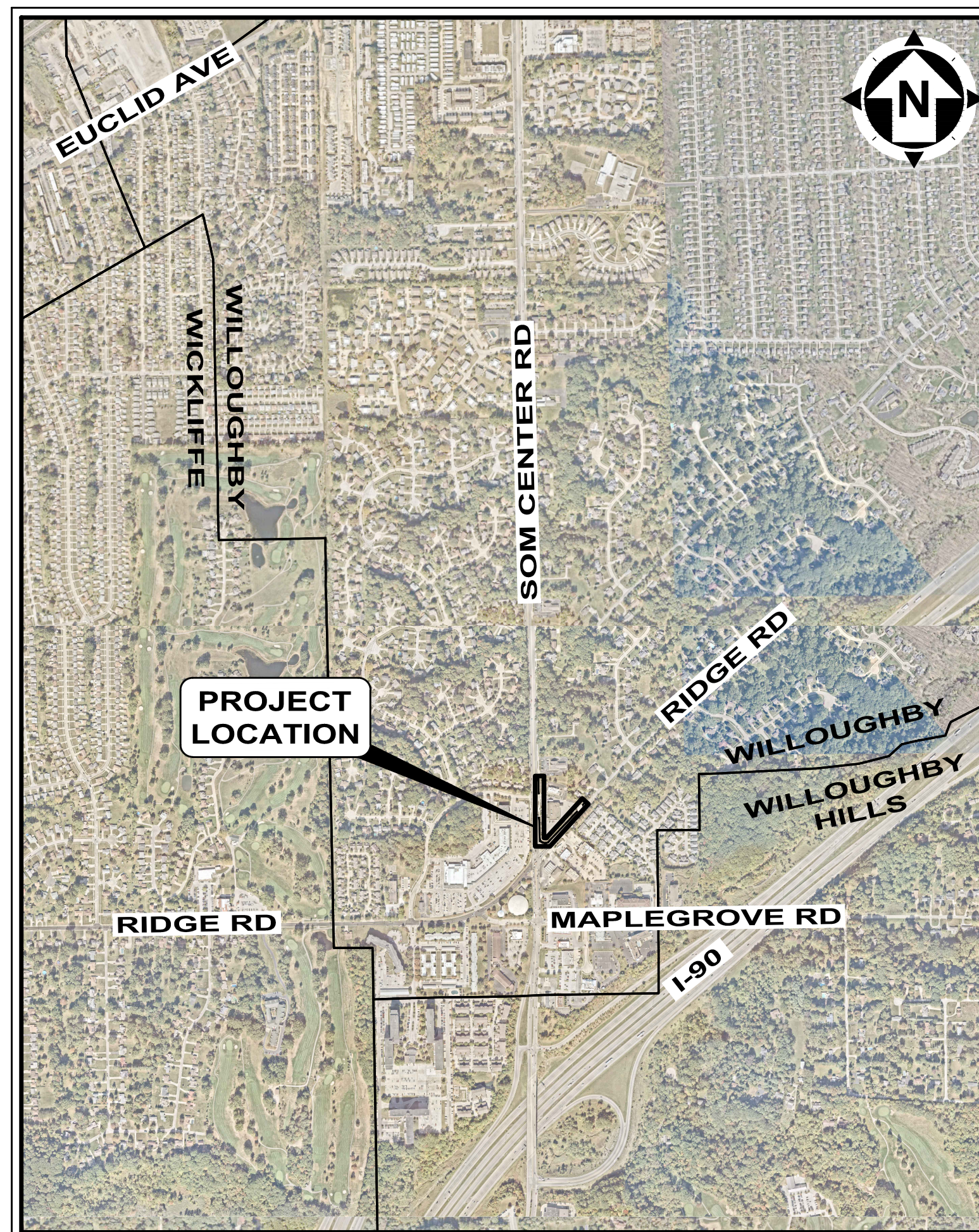
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CITY OFFICIALS:

ROBERT A. FIALA MAYOR
 RICH PALMISANO SERVICE DIRECTOR
 CHER HOFFMAN FINANCE DIRECTOR
 LARRY PUSKAS BUILDING COMMISSIONER
 JUDEAN KELLER PARKS & RECREATION DIRECTOR
 JAMES SCHULTZ POLICE CHIEF
 TODD UNGAR FIRE CHIEF
 TIM LANNON, P.E. CITY ENGINEER

CITY OFFICIALS:

ROBERT CARR COUNCIL PRESIDENT & WARD 4
 JOHN TOMASELLI VICE PRESIDENT & WARD 3
 KRISTIE SIEVERS WARD 1
 KEN KARY WARD 2
 LARRY LUCIANO WARD 5
 DANIEL GARRY WARD 6
 DANIEL ANDERSON COUNCIL-AT-LARGE
 ALISA NOVAK CLERK OF COUNCIL



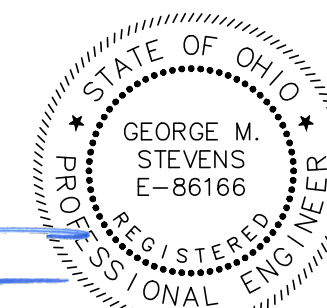
LOCATION MAP
NOT TO SCALE



1-800-362-2764

CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

1. THE SURVEY SHOWN ON THESE PLANS WAS OBSERVED IN THE FIELD FOR CONSTRUCTION PURPOSES ONLY AND MAY NOT BE SUITABLE FOR PROPERTY LINE SURVEYS OR ANY OTHER PURPOSE.
2. UNDERGROUND BUILDING SERVICE UTILITY LINES ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, MAINTAINING AND REPLACING AS NECESSARY TO ENSURE CONTINUAL SERVICE TO BUILDINGS.
3. THE CONTRACTOR IS RESPONSIBLE TO CALL OHIO UTILITIES PROTECTION SERVICE @ 1-800-362-2764, THREE WORKING DAYS PRIOR TO CONSTRUCTION.



GENERAL NOTES

1. UNLESS SPECIFICALLY SET FORTH HEREIN, ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND SPECIFICATIONS...

MATERIALS AND SPECIFICATIONS

UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE NEW, AND BOTH WORKMANSHIP AND MATERIALS SHALL BE OF PREMIUM QUALITY...

ALL ITEMS AND/OR MATERIAL PROPOSED BY THE CONTRACTOR FOR SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER AND OWNER...

ANY ITEMS OF LABOR AND MATERIALS REQUIRED BUT NOT SHOWN AS A SEPARATE PAY ITEM IN THE PROPOSAL SHALL BE FURNISHED AND INSTALLED...

TESTING

THE CONTRACTOR SHALL INCLUDE THE COST OF ALL REQUIRED TESTS IN THE UNIT PRICE BID FOR THE PERTINENT ITEM AND NO SEPARATE COMPENSATION IS TO BE MADE FOR SAID TESTING.

CITY OWNED TRAFFIC SIGNS, POSTS, SIGNALS, AND POLES

TRAFFIC SIGNS, POSTS, SIGNAL EQUIPMENT AND POLES THAT ARE NOT INTENDED TO BE REUSED SHALL BE CAREFULLY REMOVED, CLEANED AND DELIVERED TO THE CITY MAINTENANCE GARAGE FOR INSPECTION AND STORAGE...

RESPONSIBILITY

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THEIR WORK IN SUCH A MANNER AS NOT TO DAMAGE OR DESTROY ANY EXISTING FEATURE, (I.E. EXISTING INLETS, CONDUITS, ETC.) WHICH IS NOT MARKED FOR REPLACEMENT OR REMOVAL...

THE CONTRACTOR SHALL EXERCISE DUE CARE DURING CONSTRUCTION SO AS NOT TO DESTROY ANY TREES, PLANTS, SHRUBS OR STRUCTURES OUTSIDE OF THE INDICATED WORK LIMITS AND THOSE NOT SPECIFICALLY MARKED FOR REMOVAL OR RELOCATION WITHIN THE WORK LIMITS.

IN SOME INSTANCES, THE CONTRACTOR WILL BE REQUIRED TO EXCAVATE UNDER AND AROUND THE EXISTING UTILITIES. EXTREME CARE SHOULD BE USED NOT TO DAMAGE THE UTILITY DURING THIS OPERATION.

GENERAL NOTES

STORM WATER POLLUTION, EROSION CONTROL AND DUST CONTROL

THE CONTRACTOR SHALL TAKE EXTREME CARE AND UTILIZE BEST MANAGEMENT PRACTICES TO CONTROL SEDIMENT AND EROSION DURING THE PROJECT AND TO PREVENT UNNECESSARY EROSION AND SILTATION AT ALL POINTS OF THE PROJECT...

DUST SHALL BE KEPT TO A MINIMUM. COST OF EQUIPMENT, WATER, LABOR AND MATERIAL, ETC. REQUIRED TO PERFORM DUST CONTROL SHALL BE INCIDENTAL TO THE OVERALL BID PRICE.

COORDINATION WITH OTHER CONTRACTORS

OTHER CONTRACTORS AND/OR UTILITY COMPANIES MAY BE WORKING IN THIS AREA CONCURRENT WITH THIS CONTRACT. THE CONTRACTOR SHALL COORDINATE WORK ACTIVITIES WITH ALL OTHER CONTRACTORS IN THE AREA.

DOWN TIME DUE TO FIELD CONFLICTS

DURING THE CONSTRUCTION ACTIVITIES OF THIS PROJECT, THERE MAY BE TIMES WHEN THE CONSTRUCTION IN SOME AREAS MAY NEED TO BE SUSPENDED PENDING RESPONSE ON, OR RESOLUTION TO AN ISSUE FROM THE OWNER AND/OR ENGINEER...

SAW CUTTING EXISTING PAVEMENT
ALL EXISTING PAVEMENT SHALL BE SAW CUT BEFORE REMOVAL TO OBTAIN A UNIFORM EDGE. THE COST OF SAW CUTTING AND PAVEMENT REMOVAL SHALL BE INCIDENTAL TO ITEM 203, EXCAVATION, AS PER PLAN.

UTILITY NOTES

- 1. THIS PLAN SHOWS THE APPROXIMATE LOCATION OF UNDERGROUND UTILITIES (GAS, WATER, STORM SEWER, SANITARY SEWER, TELEPHONE, ELECTRIC, ETC.)...

WITHIN 10 DAYS OF THE AWARD OF THE CONTRACT, THE OWNER SHALL NOTIFY ALL UTILITIES OF THE NAME, ADDRESS AND PHONE NUMBER OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE REGISTERED UNDERGROUND UTILITY PROTECTION SERVICE AND NON-MEMBER OWNERS OF THE STARTING DATE AT LEAST TWO WORKING DAYS PRIOR TO STARTING WORK...

DURING CONSTRUCTION, THE CONTRACTOR SHALL REPORT IMMEDIATELY TO THE OWNERS OF THE UNDERGROUND UTILITIES ANY BREAK OR LEAK IN THE FACILITIES, OR ANY DENT, GOUGE, GROOVE OR OTHER DAMAGE. THE CONTRACTOR SHALL NOTIFY NEARBY OCCUPANTS OF ANY EMERGENCY SITUATION THAT MAY ARISE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITY ACTIVITIES AND SCHEDULES.

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT:

ELECTRIC THE ILLUMINATING COMPANY 6896 MILLER ROAD BRECKSVILLE, OH 44141 440-546-8706 JMZASSICK@FIRSTENERGYCORP.COM

GAS DOMINION EAST OHIO 2ND FLOOR RELOCATION DESIGN 320 SPRINGSIDE DR, SUITE 320 AKRON, OH 44333 330-664-2409 RELOCATION@DOMINIONENERGY.COM

TELEPHONE AT&T JAMES JANIS 13630 LORAIN AVE., 2ND FLOOR CLEVELAND, OH 44111 216-476-6142 P.J8191@ATT.COM

SEWER RICH PALMISANO DIRECTOR OF PUBLIC SERVICE CITY OF WILLOUGHBY ONE PUBLIC SQUARE WILLOUGHBY, OHIO 44094 440-953-4111

CONNECTIONS

EXISTING ROOF DRAINS, FOOTER DRAINS OR YARD DRAINS DISTURBED BY THE PROPOSED WORK SHALL BE PROVIDED WITH UNOBSTRUCTED OUTLETS BY CONNECTING TO A STORM SEWER, MANHOLE, CATCH BASIN, AS DIRECTED BY THE OWNER / ENGINEER.

THE LOCATION, TYPE, SIZE AND GRADE OF REQUIRED REPLACEMENTS WILL BE DETERMINED BY THE FIELD INSPECTOR DURING CONSTRUCTION.

UTILITY NOTES

MANHOLES, CATCH BASINS AND INLETS

ALL CASTINGS FOR MANHOLES, CATCH BASINS AND INLETS SHALL CONFORM TO THOSE SPECIFIED IN THE STANDARD CONSTRUCTION DRAWINGS. ALL CASTINGS WHICH MIGHT BE SUBJECT TO VEHICLE TRAFFIC SHALL BE OF THE HEAVY DUTY GRADE. GRATED INLET TOPS SHALL BE PLACED AS SPECIFIED ON THE PLANS.

TOP OF CASTING ELEVATIONS ARE SUBJECT TO FINAL ADJUSTMENTS AS APPROVED BY THE OWNER / ENGINEER. ALL MANHOLES WITHIN WALK AREA SHALL HAVE A FLAT FLUSH COVER. ALL CASTINGS USED SHALL BE SUBJECT TO THE FINAL APPROVAL OF THE OWNER / ENGINEER. CONTRACTOR SHALL ENSURE ALL EXISTING MANHOLE LIDS ARE FREE OF ASPHALT MATERIAL AFTER PAVING AND ARE ABLE TO BE OPENED. IF ANY ASPHALT MATERIAL REMAINS ON THE LIDS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AT THE CONTRACTOR'S EXPENSE.

STORM & SANITARY NOTES

CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STORM AND SANITARY SEWER FLOW THROUGHOUT THE PROJECT, FOR THE DURATION OF CONSTRUCTION. ALL COST FOR THE ABOVE SHALL BE INCIDENTAL TO THE CONTRACT.

REVIEW OF DRAINAGE FACILITIES

BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY OF SPRINGDALE, THE CONTRACTOR WITH THE OWNER AND ENGINEER OR FIELD INSPECTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING CONDUITS AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.

ALL NEW CONDUITS, INLETS, CATCH BASINS, AND MANHOLES CONSTRUCTED AS A PART OF THE PROJECT SHALL BE FREE OF ALL FOREIGN MATTER AND IN A CLEAN CONDITION BEFORE THE PROJECT WILL BE ACCEPTED BY THE CITY.

ALL EXISTING SEWERS INSPECTED INITIALLY BY THE ABOVE-MENTIONED PARTIES SHALL BE MAINTAINED AND LEFT IN A CONDITION REASONABLY COMPARABLE TO THAT DETERMINED BY THE ORIGINAL INSPECTION. ANY CHANGE IN THE CONDITION RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE CORRECTED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY.

PAYMENT FOR ALL OPERATIONS DESCRIBED ABOVE SHALL BE INCIDENTAL TO THE CONTRACT.

CONTINGENCY QUANTITIES

THE CONTRACTOR SHALL NOT ORDER MATERIALS OR PERFORM WORK FOR PLAN ITEMS SET UP TO BE USED * AS DIRECTED BY THE ENGINEER * UNLESS AUTHORIZED BY THE OWNER / ENGINEER. THE ACTUAL WORK LOCATIONS AND QUANTITIES USED AT THE FIELD INSPECTOR'S DISCRETION SHALL BE MADE A MATTER OF RECORD BY INCORPORATION INTO THE FINAL CHANGE ORDER GOVERNING COMPLETION OF THIS PROJECT.

THREE CUBIC YARDS OF 304 HAS BEEN PROVIDED TO BE USED AS FILL WHERE NEEDED TO MEET SIDEWALK ELEVATIONS.

TYPICAL DRIVE APRON

THIS ITEMS SHALL CONSIST OF INSTALLING A DRIVEWAY APRON PER THE PROVIDED DETAILS. THE UNIT SHALL INCLUDE EXCAVATION, COMPACTION, FORM WORK AND CONSTRUCTION JOINTING PER THE DETAIL.

MAINTENANCE OF TRAFFIC NOTES

ITEM 614, MAINTAINING TRAFFIC

THE MAINTENANCE OF TRAFFIC PROCEDURES SHALL MEET THE REQUIREMENTS AS INDICATED IN THE "OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", CURRENT EDITION, THE PROPOSAL, THE SPECIFICATIONS, AND THESE PLANS. ANY VARIANCE FROM THESE REQUIREMENTS SHALL BE APPROVED IN ADVANCE BY THE ENGINEER IN WRITING.

THE CONTRACTOR SHALL MAINTAIN ACCESS TO LOCAL TRAFFIC (ACCESS TO RESIDENCES WITHIN CONSTRUCTION LIMITS) AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT SIGN, WARNING LIGHTS, BARRICADES, OR OTHER NECESSARY DEVICES MAKE THE SITE SAFE TO THE TRAVELING PUBLIC.

SPECIFIC ATTENTION WILL BE DIRECTED TOWARD THE PROPER USE OF FLAGGERS, LIGHTS, DRUMS, AND TEMPORARY PAVEMENT MARKINGS. THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL NECESSARY SIGNS, AND PROVIDE TEMPORARY STRIPING. ALL WORK ZONES SHALL CONFORM TO THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL ALSO PROVIDE ALL PLATING, TEMPORARY PAVEMENT, TEMPORARY PAVEMENT MARKINGS, AND TRAFFIC CONTROL MEASURES NECESSARY TO MAINTAIN TRAFFIC. THE COST OF ALL TEMPORARY TRAFFIC CONTROL ITEMS NECESSARY TO SAFELY MAINTAIN TRAFFIC SHALL BE INCLUDED WITH PAYMENT FOR ITEM 614 MAINTAINING TRAFFIC.

A. BEFORE WORK BEGINS, THE CONTRACTOR SHALL SUBMIT TO THE OWNER AND ENGINEER THE NAMES AND TELEPHONE NUMBERS OF PERSONS WHO CAN BE CONTACTED 24 HOURS A DAY BY THE CITY OF SPRINGFIELD AND ALL INTERESTED POLICE AGENCIES. THESE PERSONS SHALL BE RESPONSIBLE FOR PLACING OR REPLACING NECESSARY TRAFFIC CONTROL DEVICES TO MAINTAIN THE TRAVELED PAVEMENT SAFELY.

B. TRAFFIC SHALL BE MAINTAINED AT ALL INTERSECTIONS AND DRIVES AT ALL TIMES, AND SHALL BE CONTROLLED WITH FLAGGERS AND TRAFFIC CONTROL DEVICES AS REQUIRED AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER AND ENGINEER.

MAINTENANCE OF TRAFFIC NOTES

A. LENGTH AND DURATION OF LANE CLOSURES AND RESTRICTIONS SHALL BE AT THE APPROVAL OF THE OWNER AND ENGINEER. IT IS THE INTENT TO MINIMIZE THE IMPACT TO THE TRAVELING PUBLIC. LANE CLOSURES OR RESTRICTIONS OVER SEGMENTS OF THE PROJECT IN WHICH NO WORK IS ANTICIPATED WITHIN A REASONABLE TIME FRAME, AS DETERMINED BY THE OWNER AND ENGINEER, SHALL NOT BE PERMITTED. THE LEVEL OF UTILIZATION OF MAINTENANCE OF TRAFFIC DEVICES SHALL BE COMMENSURATE WITH THE WORK IN PROGRESS.

G. IN ADDITION LANE CLOSURES ARE NOT ALLOWED OVERNIGHT. ANY COST FOR ITEMS NOT SPECIFICALLY NOTED UNDER THE MAINTENANCE OF TRAFFIC NOTE REQUIRED TO REOPEN LANES SHALL BE INCLUDED IN THE BID PRICE FOR ITEM 614 - MAINTENANCE OF TRAFFIC.

THE CONTRACTOR SHALL OBEY ALL LOCAL LAWS AND ORDINANCES INCLUDING ANY NOISE RESTRICTIONS.

THE CONTRACTOR SHALL MAINTAIN TRAFFIC TO ALL ROADWAYS INTERSECTING THE CONSTRUCTION AREAS.

MAINTENANCE OF TRAFFIC SHALL BE ONGOING THROUGH THE PROJECT, INCLUDING ALL PERIODS OF INACTIVITY BY THE CONTRACTOR, UNTIL FINAL ACCEPTANCE OF THE PROJECT.

THE CONTRACTOR SHALL NOTIFY AFFECTED BUSINESSES 48 HOURS IN ADVANCE BEFORE COMMENCING WORK.

TEMPORARY BLOCKING OF THE DRIVEWAY TO ANY BUSINESS PROPERTY DURING CONSTRUCTION IS ALLOWABLE (MAX. 96 HOURS). HOWEVER, ACCESS TO PROPERTIES FOR DELIVERIES, SERVICE, EMERGENCY VEHICLES, ETC., SHALL BE MAINTAINED AT ALL TIMES. IN ADDITION, THE CONTRACTOR MUST NOTIFY ALL BUSINESSES IN WRITING 48 HOURS BEFORE COMMENCING TO ALLOW THEM ADEQUATE TIME TO MOVE ANY VEHICLE IN OR OUT.

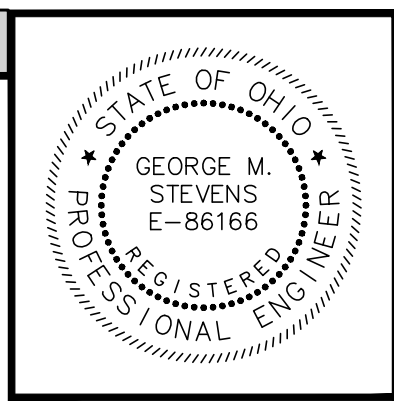
THE CONTRACTOR SHALL GIVE WRITTEN NOTICE TO THE BUSINESS AND GIVE A COPY OF SAID WRITTEN NOTICE TO THE FIELD INSPECTOR AND OWNER 48 HOURS PRIOR TO BEING ALLOWED TO COMMENCE WORK WHICH WOULD INVOLVE ACCESS TO SAID PROPERTY.

PROTECTION OF RIGHT-OF-WAY LANDSCAPING

PRIOR TO BEGINNING WORK, THE CONTRACTOR, THE PROJECT ENGINEER, AND THE PUBLIC WORKS OFFICE WILL REVIEW AND RECORD ALL LANDSCAPING ITEMS WITHIN THE RIGHT-OF-WAY (BOTH WITHIN AND OUTSIDE THE CONSTRUCTION LIMITS). A RECORD OF THIS REVIEW WILL BE KEPT IN THE PROJECT ENGINEER'S FILES. PRIOR TO FINAL ACCEPTANCE, A FINAL REVIEW OF LANDSCAPE ITEMS WILL BE MADE CONFINED ALL ACTIVITIES, EQUIPMENT, STORAGE, AND STAGING TO WITHIN THE CONSTRUCTION LIMITS. ANY ITEMS DAMAGED BEYOND THE CONSTRUCTION LIMITS OR WITHIN THE ABOVE-NOTED LANDSCAPE AREAS, AS DEFINED ABOVE, WILL BE REPLACED IN KIND OR AS APPROVED BY THE CITY, AT THE CONTRACTOR'S COST.

SYMBOL LEGEND

Legend table listing symbols for existing and proposed utilities (gas, electric, water, sewer, telephone, storm, catch basins, manholes, etc.) and landscaping items (fence, contours, tree line, etc.).



Revision table with columns for DATE, REVISION, NO, REVIEW, ISSUED FOR, ISSUE DATE, SCALE, PAPER SIZE, DRAWN BY, CHECKED BY.

SOM CENTER ROAD COMMERCIAL SIDEWALK ASSESSMENT SOM CENTER & RIDGE ROAD, WILLOUGHBY CITY, LAKE CO., OHIO

Project information table including PROJECT NO. (38798), DISCIPLINE (CIVIL), SHEET NAME (GN), SHEET (2).



verdantas

DATE	REVISION	NO	REVIEW	ISSUED FOR
			4/23/2026	AS SHOWN
			SCALE:	22" X 34"
			PAPER SIZE:	CRW
			DRAWN BY:	GMS
			CHECKED BY:	

SOM CENTER ROAD COMMERCIAL SIDEWALK ASSESSMENT
MAINTENANCE OF TRAFFIC
 SOM CENTER & RIDGE ROAD, WILLOUGHBY CITY, LAKE CO., OHIO

PROJECT NO.	38798
DISCIPLINE	CIVIL
SHEET NAME	MOT
SHEET	3

ITEM 614, LAW ENFORCEMENT OFFICER (WITH PATROL CAR) FOR ASSISTANCE DURING CONSTRUCTION OPERATIONS

USE OF LAW ENFORCEMENT OFFICERS (LEOS) BY CONTRACTORS OTHER THAN THE USES SPECIFIED BELOW WILL NOT BE PERMITTED AT PROJECT COST. LEOS SHOULD NOT BE USED WHERE THE OMUTCD INTENDS THAT FLAGGERS BE USED.

IN ADDITION TO THE REQUIREMENTS OF C&MS 614 AND THE OMUTCD, A UNIFORMED LEO WITH AN OFFICIAL PATROL CAR (CAR WITH TOP-MOUNTED EMERGENCY FLASHING LIGHTS AND COMPLETE MARKINGS OF THE APPROPRIATE LAW ENFORCEMENT AGENCY) SHALL BE PROVIDED FOR THE FOLLOWING TRAFFIC CONTROL TASKS:

DURING THE ENTIRE ADVANCE PREPARATION AND CLOSURE SEQUENCE WHERE COMPLETE BLOCKAGE OF TRAFFIC IS REQUIRED.

DURING A TRAFFIC SIGNAL INSTALLATION WHEN IMPACTING THE NORMAL FUNCTION OF THE SIGNAL OR THE FLOW OF TRAFFIC, OR WHEN TRAFFIC NEEDS TO BE DIRECTED THROUGH AN ENERGIZED TRAFFIC SIGNAL CONTRARY TO THE SIGNAL DISPLAY (E.G. DIRECTING MOTORISTS THROUGH A RED LIGHT).

IN ADDITION TO THE REQUIREMENT OF C&MS 614 AND THE OMUTCD, A UNIFORMED LEO WITH AN OFFICIAL PATROL CAR (CAR WITH TOP-MOUNTED EMERGENCY FLASHING LIGHTS AND COMPLETE MARKINGS OF THE APPROPRIATE LAW ENFORCEMENT AGENCY) SHOULD BE PROVIDED FOR THE FOLLOWING TRAFFIC CONTROL TASKS AS APPROVED BY THE ENGINEER:

FOR LANE CLOSURES: DURING INITIAL SET-UP PERIODS, TEAR DOWN PERIODS, SUBSTANTIAL SHIFTS OF A CLOSURE POINT OR WHEN NEW LANE CLOSURE ARRANGEMENTS ARE INITIATED FOR LONG-TERM LANE CLOSURES/SHIFTS (FOR THE FIRST AND LAST DAY OF MAJOR CHANGES IN TRAFFIC CONTROL SETUP).

FOR OPERATIONS WITHOUT POSITIVE PROTECTION OCCURRING WITHIN 10 FEET OF AN OPEN TRAVELED LANE THAT MEET ALL OF THE FOLLOWING CRITERIA:
 ON A MULTI-LANE DIVIDED INTERSTATE, OTHER FREEWAY OR EXPRESSWAY; AND AN AUTHORIZED SPEED LIMIT OF 45 MPH OR GREATER THAT IS IN EFFECT AT THE TIME OF THE OPERATION; AND, AADT OF 50,000 (OR AADT OF 30,000 WITH 25% OR HIGHER PERCENT TRUCKS)

"WITHOUT POSITIVE PROTECTION" MEANS USE OF DRUMS, CONES, SHADOW VEHICLE, ETC. WITHOUT PROTECTION FROM PORTABLE BARRIER OR OTHER RIGID BARRIER ALONG THE WORK AREA. THIS PHRASE DOES NOT APPLY TO CASES WHERE POSITIVE PROTECTION IS REQUIRED. MOBILE OPERATIONS ARE REGARDED AS "WITHOUT POSITIVE PROTECTION". FOR WORK ZONES USING A COMBINATION OF BARRIER AND TEMPORARY TRAFFIC CONTROL DEVICES (CONES, DRUMS, ETC), THE DESIGNATION SHALL BE BASED UPON THE TYPE OF DEVICES USED IN THE AREA THAT WORKERS ARE LOCATED

IF MULTIPLE ACTIVE LOCALIZED QUALIFYING WORK AREAS OCCUR WITHOUT POSITIVE PROTECTION, PER MAINLINE TRAFFIC DIRECTION, PROVIDE A UNIFORMED LEO AND OFFICIAL PATROL CAR IN ADVANCE OF:
 THE FIRST ACTIVE WORK AREA THAT DRIVERS WILL ENCOUNTER; OR THE ACTIVE WORK AREA LATERALLY CLOSEST TO THE OPEN TRAVELED LANE; OR OTHER LOCATION AS APPROVED BY THE ENGINEER.

THE UNIFORMED LEO AND OFFICIAL PATROL CAR MAY RELOCATE AMONG THE LISTED LOCATIONS AS APPROPRIATE AS THE OPERATIONS PROCEED IN THE LOCALIZED QUALIFYING WORK AREAS.

IN GENERAL, LEOS SHOULD BE POSITIONED IN ADVANCE OF AND ON THE SAME SIDE AS THE LANE RESTRICTION (OR AT THE POINT OF ROAD CLOSURE), AND TO MANUALLY CONTROL TRAFFIC MOVEMENTS THROUGH SIGNALIZED INTERSECTIONS IN WORK ZONES.

LEOS SHOULD NOT FORGO THEIR TRAFFIC CONTROL RESPONSIBILITIES TO APPREHEND MOTORISTS FOR ROUTINE TRAFFIC VIOLATIONS. HOWEVER, IF A MOTORIST'S ACTIONS ARE CONSIDERED TO BE RECKLESS, THEN PURSUIT OF THE MOTORIST IS APPROPRIATE.

THE LEOS WORK AT THE DIRECTION OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE SERVICES OF THE LEOS WITH THE APPROPRIATE AGENCIES AND COMMUNICATING THE INTENTIONS OF THE PLANS WITH RESPECT TO DUTIES OF THE LEOS. THE ENGINEER SHALL HAVE FINAL CONTROL OVER THE LEOS' DUTIES AND PLACEMENT, AND WILL RESOLVE ANY ISSUES THAT MAY ARISE BETWEEN THE TWO PARTIES.

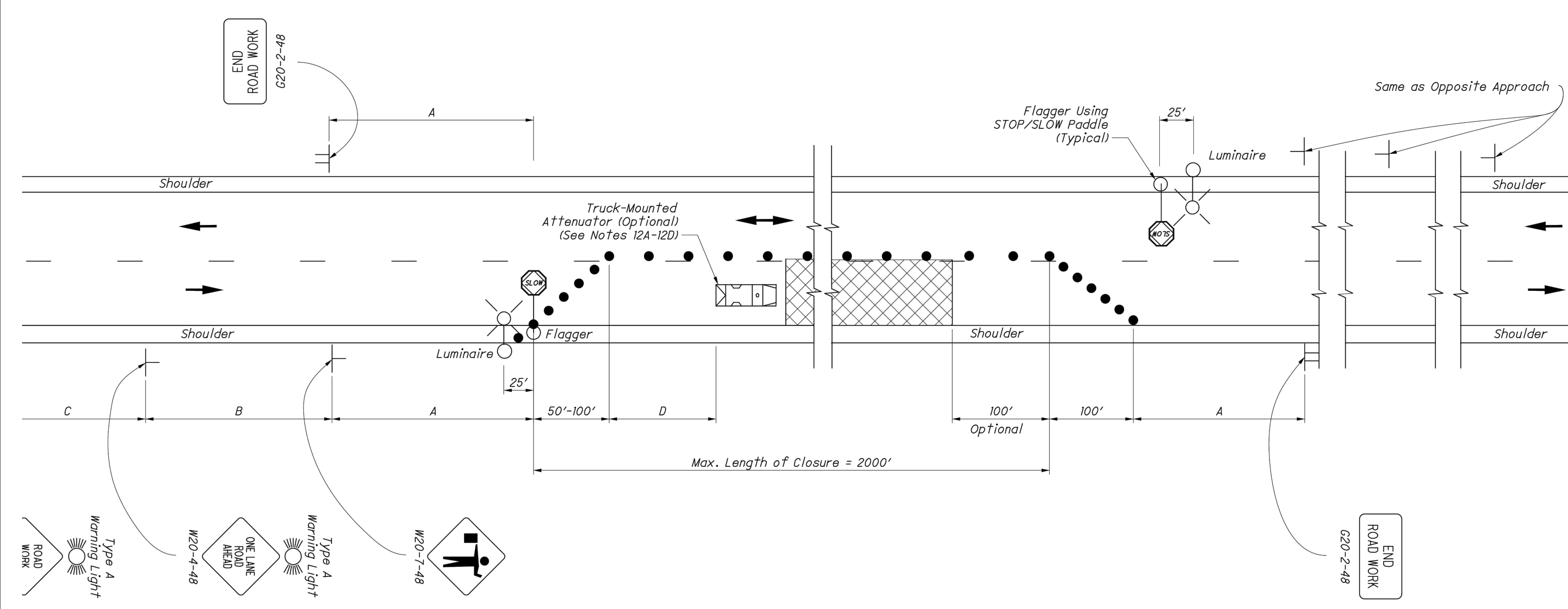
ENSURE PROVIDED LEOS HAVE BEEN TRAINED APPROPRIATE TO THE JOB DECISIONS THEY ARE REQUIRED TO MAKE WHILE ON THE PROJECT, IN ACCORDANCE WITH C&MS 614.03.

THE LEO SHALL REPORT IN TO THE CONTRACTOR PRIOR TO THE START OF THE SHIFT, IN ORDER TO RECEIVE INSTRUCTIONS REGARDING SPECIFIC WORK ASSIGNMENTS DURING HIS/HER SHIFT. THE LEO IS EXPECTED TO STAY AT THE PROJECT SITE

FOR THE ENTIRE DURATION OF HIS/HER SHIFT. THE LEO SHALL REPORT TO THE CONTRACTOR AT THE END OF HIS/HER SHIFT. SHOULD IT BE NECESSARY TO LEAVE THE PROJECT SITE, THE LEO SHALL NOTIFY THE ENGINEER. THE CONTRACTOR SHALL PROVIDE THE LEO WITH A TWO-WAY COMMUNICATION DEVICE THAT SHALL BE RETURNED TO THE CONTRACTOR AT THE END OF HIS/HER SHIFT.

ADDITIONAL TRAFFIC MAINTENANCE NOTES

- ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES FOR LOCAL TRAFFIC AND EMERGENCY VEHICLES. LOCAL ACCESS TO ABUTTING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. ACCESS TO ALL DRIVEWAYS SHALL ALSO BE MAINTAINED AT ALL TIMES.
- PART WIDTH CONSTRUCTION, ONE LANE WIDTH, SHALL BE USED DURING THE PERFORMANCE OF PAVING OPERATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN SAFE AND SATISFACTORY LOCAL ACCESS, VEHICULAR AND PEDESTRIAN, TO ALL ABUTTING PROPERTIES WITHIN THE PROJECT. THE CONTRACTOR SHALL FURNISH, MAINTAIN, AND SUBSEQUENTLY REMOVE ALL NECESSARY SAFEGUARDS SUCH AS BARRICADES, BARRIERS, TEMPORARY PAVEMENT, LIGHTING, FLAGMEN, TEMPORARY GUARDRAIL, DETOUR AND CONSTRUCTION SIGNING AND OTHER TRAFFIC CONTROLS SO AS TO AVOID DAMAGE AND/OR INJURY TO AND ENSURE THE SAFETY OF VEHICLES AND PERSONS USING THE ROADWAY DURING CONSTRUCTION BOTH WITHIN AND OUTSIDE OF THE PROJECT LIMITS.
- MAINTAINING TRAFFIC SHALL BE IN ACCORDANCE WITH ODOT ITEM 614 AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. DETOUR ROUTES & SIGNAGE SHALL MEET THE APPROVAL OF THE CITY ENGINEER.
- IN ORDER TO MAINTAIN LOCAL AND DRIVEWAY ACCESS, THE CONTRACTOR SHALL FURNISH AND INSTALL TRAFFIC COMPACTED SURFACE, TYPE A OR B IN ACCORDANCE WITH ODOT ITEM 410 LIMESTONE OR GRAVEL ONLY INCLUDING NECESSARY WATER AND CALCIUM CHLORIDE IN ACCORDANCE WITH ODOT ITEM 616 AS DIRECTED BY THE ENGINEER. NO SEPARATE PAYMENT WILL BE MADE FOR MAINTAINING TRAFFIC INCLUDING PROVIDING TRAFFIC COMPACTED SURFACES, OTHER TEMPORARY ROADWAYS, TRAFFIC CONTROL, AND ALL OTHER SAFEGUARDS. COST FOR MAINTAINING TRAFFIC INCLUDING ALL MATERIALS, LABOR AND EQUIPMENT FOR CONSTRUCTION, MAINTENANCE AND SUBSEQUENT REMOVAL SHALL BE INCLUDED IN THE UNIT PRICES STIPULATED FOR THE VARIOUS ITEMS OF THE PROPOSAL.
- LENGTH AND DURATION OF LANE CLOSURES AND RESTRICTIONS SHALL BE AT THE APPROVAL OF THE ENGINEER. IT IS THE INTENT TO MINIMIZE THE IMPACT TO THE TRAVELING PUBLIC. LANE CLOSURES OR RESTRICTIONS OVER SEGMENTS OF THE PROJECT IN WHICH NO WORK IS ANTICIPATED WITHIN A REASONABLE TIME FRAME, AS DETERMINED BY THE ENGINEER, SHALL NOT BE PERMITTED. THE LEVEL OF UTILIZATION OF MAINTENANCE OF TRAFFIC DEVICES SHALL BE COMMENSURATE WITH THE WORK IN PROGRESS.
- NOTICE OF CLOSURE SIGNS, FOR SEVERAL SIDE ROADS, AS DETAILED IN THESE PLANS, SHALL BE ERRECTED BY THE CONTRACTOR AT LEAST ONE WEEK IN ADVANCE OF THE SCHEDULED ROAD CLOSURE. THE SIGNS SHALL BE ERRECTED ON THE RIGHT HAND SIDE OF THE ROAD FACING TRAFFIC. THEY SHALL BE PLACED SO AS NOT TO INTERFERE WITH THE VISIBILITY OF ANY OTHER TRAFFIC CONTROL SIGNS. THEY SHOULD BE ERRECTED AT THE POINT OF CLOSURE.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN SIGNS AND SIGN SUPPORTS, AS DETAILED IN THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND TYPE III BARRICADES OF THE TYPE AND LOCATION AS SHOWN ON THE PLANS.
- ALL WORK AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH 614 AND OTHER APPLICABLE PORTIONS OF THE SPECIFICATIONS, AS WELL AS THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. PAYMENT FOR ALL LABOR, EQUIPMENT AND MATERIALS SHALL BE INCLUDED IN THE LUMP SUM CONTRACT PRICE FOR 614, MAINTAINING TRAFFIC, UNLESS SEPARATELY ITEMIZED IN THE PLAN.
- IF THE CONTRACTOR SO ELECTS, HE MAY SUBMIT ALTERNATE METHODS FOR THE MAINTENANCE OF TRAFFIC, PROVIDED THE INTENT OF THE ABOVE PROVISIONS IS FOLLOWED AND NO ADDITIONAL INCONVENIENCE TO THE TRAVELING PUBLIC RESULTS THEREFROM. NO ALTERNATIVE PLAN SHALL BE PLACED INTO EFFECT UNTIL APPROVAL HAS BEEN GRANTED IN WRITING BY THE ENGINEER.
- PAYMENT FOR THE MAINTENANCE OF TRAFFIC ITEMS, UNLESS SPECIFIED SEPARATELY, SHALL BE AT THE LUMP SUM BID FOR ITEM 614 MAINTAINING TRAFFIC, WHICH SHALL INCLUDE ALL LABOR, EQUIPMENT, MATERIALS, AND INCIDENTALS NECESSARY TO COMPLETE THE WORK AS DETAILED IN THE PLANS.



NOTES:

FLAGGERS

- Flaggers, one for each direction, shall be used to control traffic continuously for as long as a one lane operation is in effect. The flaggers shall be able to communicate with each other at all times.

LENGTH OF CLOSURE

- Several small work areas close together should be combined into one work zone. However, the closure shall not be more than 2000' long unless approved by the Engineer. The minimum length between closures shall be 2000'. Only one side of the road shall be closed in any one work zone.

SIGN LOCATION AND SPACING

- The minimum spacing between work zone signs is shown in Table I. Maximum spacing should not be greater than 1.5 times the distances shown in Table I.
- Sign spacing should be adjusted to avoid conflict with existing signs. Minimum spacing to existing signs shall be 200' for speeds of 45 mph or less and a minimum of 400' for speeds of 50 mph or greater.
- The location of the advance warning signs should be adjusted to provide for adequate sight distance for the existing vertical and horizontal roadway alignment.

ADJUSTMENTS FOR SIGHT DISTANCE

- The location of the flagger station and the advance warning signs should be adjusted to provide for adequate sight distance for the existing vertical and horizontal roadway alignment.

BASIC SIGNING

- ROAD WORK AHEAD (W20-1) signs shall be provided on entrance ramps or roadways entering the work limits.
- END ROAD WORK (G20-2) signs are only required for lane closures of more than 1 day. If it is intended that these signs be placed on the mainline, on all exit ramps, and on roadways exiting the work limits.
- Overlapping of signing for adjacent projects should be avoided where the messages could be confusing. Any ROAD WORK AHEAD (W20-1) or END ROAD WORK (G20-2) sign which falls within the limits of another traffic control zone shall be omitted or covered during the period when both projects are active.

SIGNING DETAILS

- The Advisory Speed (W13-1P) plaque shall be used when specified in the plan.
- 36" warning signs may be used when the approach speed limit is 40 mph or less.

FLASHING WARNING LIGHTS

- Type A flashing warning lights shown on the ROAD WORK AHEAD (W20-1) signs and on the LANE CLOSED AHEAD (W20-5) signs are required whenever a night lane closure is necessary.

DRUMS / CONES

- Drum spacing shall be as follows:
 - Spacing along the closure shall be 40' center-to-center.
 - Spacing along the approach taper shall be 10' center-to-center.
- Cones may be substituted for drums as follows:
 - Cones used for daytime traffic control shall have a minimum height of 28".
 - Cones used for nighttime traffic control shall have a minimum height of 42".
 - Use of cones at night shall be prohibited along tapers.
- Provisions shall be made to stabilize the cones and drums to prevent them from blowing over.
- A minimum of two drums shall be used to close the paved shoulder.

(RESERVED FOR FUTURE USE)

AREA ILLUMINATION

- Adequate area illumination of each flagger station shall be provided at night. Use of portable flood lighting is acceptable. Luminaires shall be located adjacent to each flagger station.
- To ensure the adequacy of floodlight placement and the elimination of glare, the Contractor and the Engineer shall drive through the worksite each night when the lighting is in place. Light placement and shielding shall be adjusted to the satisfaction of the Engineer.

INTERSECTION / DRIVEWAY ACCESS

- Within the length of closure, provision shall be made to control traffic entering from intersecting streets and major drives as necessary to prevent wrong-way movements and to keep vehicles off of new pavement not ready for traffic. The Contractor shall:
 - Place across the closed lane, either three drums (cones) or barricades, and/or
 - Provide an additional flagger at every public street intersection and major driveway.

Drums (cones) placed across the closed lane shall be located 25' beyond the projected pavement edges of the driveway or cross highway, as shown in Standard Construction Drawings (SCDs MT-97.11 or MT-97.12. For barricades, see SCD MT-101.60.

Existing STOP signs shall be relocated as necessary to assure proper location for the traffic conditions. The method of control shall be subject to the approval of the Engineer.

SHADOW VEHICLE

- The shadow vehicle shall be in place and unoccupied whenever workers are in the work area. This vehicle shall be removed from the pavement whenever workers are not in the work area.
- The shadow vehicle shall be equipped with a high-intensity, yellow rotating, flashing, oscillating, or strobe lights.
- The vehicle shall be equipped with a truck-mounted attenuator when called for in the plans.
- Other protective devices may be used in lieu of the shadow vehicle shown when approved by the Engineer.

CHIP SEAL OPERATIONS

- For chip seal operations, additional signing shall be incorporated in the advanced warning area.
 - The LOOSE GRAVEL (W8-7) and FRESH TAR (W21-2) signs shall both be used in advance of the chip seal operation.
 - Repeat the LOOSE GRAVEL sign with a 35 mph Advisory Speed (W13-1) plaque every half mile per CMS 422.09.
 - The FRESH TAR and the LOOSE GRAVEL signs shall both be used for signing of side roads intersecting the work area.

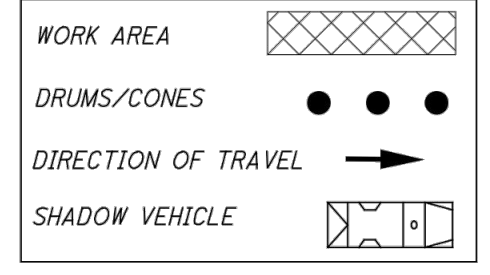
TABLE I (SIGN SPACING)

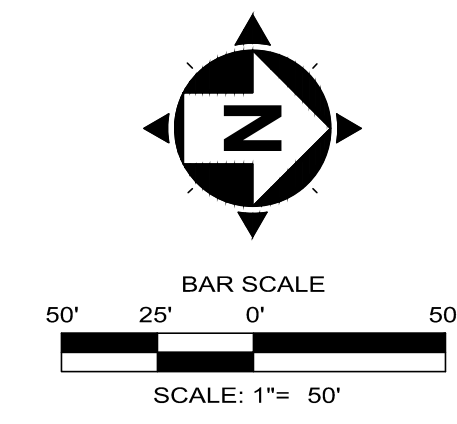
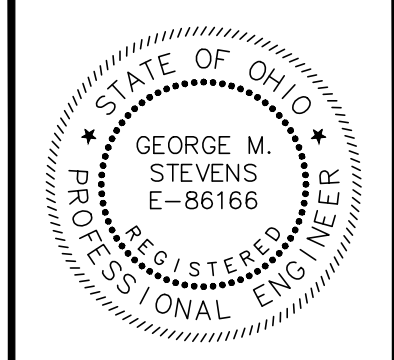
ROAD TYPE	DISTANCE BETWEEN SIGNS (FT)		
	A	B	C
Two-Lane (< 40 MPH)	100	100	100
Two-Lane (45-50 MPH)	350	350	350
Two-Lane (55-60 MPH)	500	500	500

TABLE II

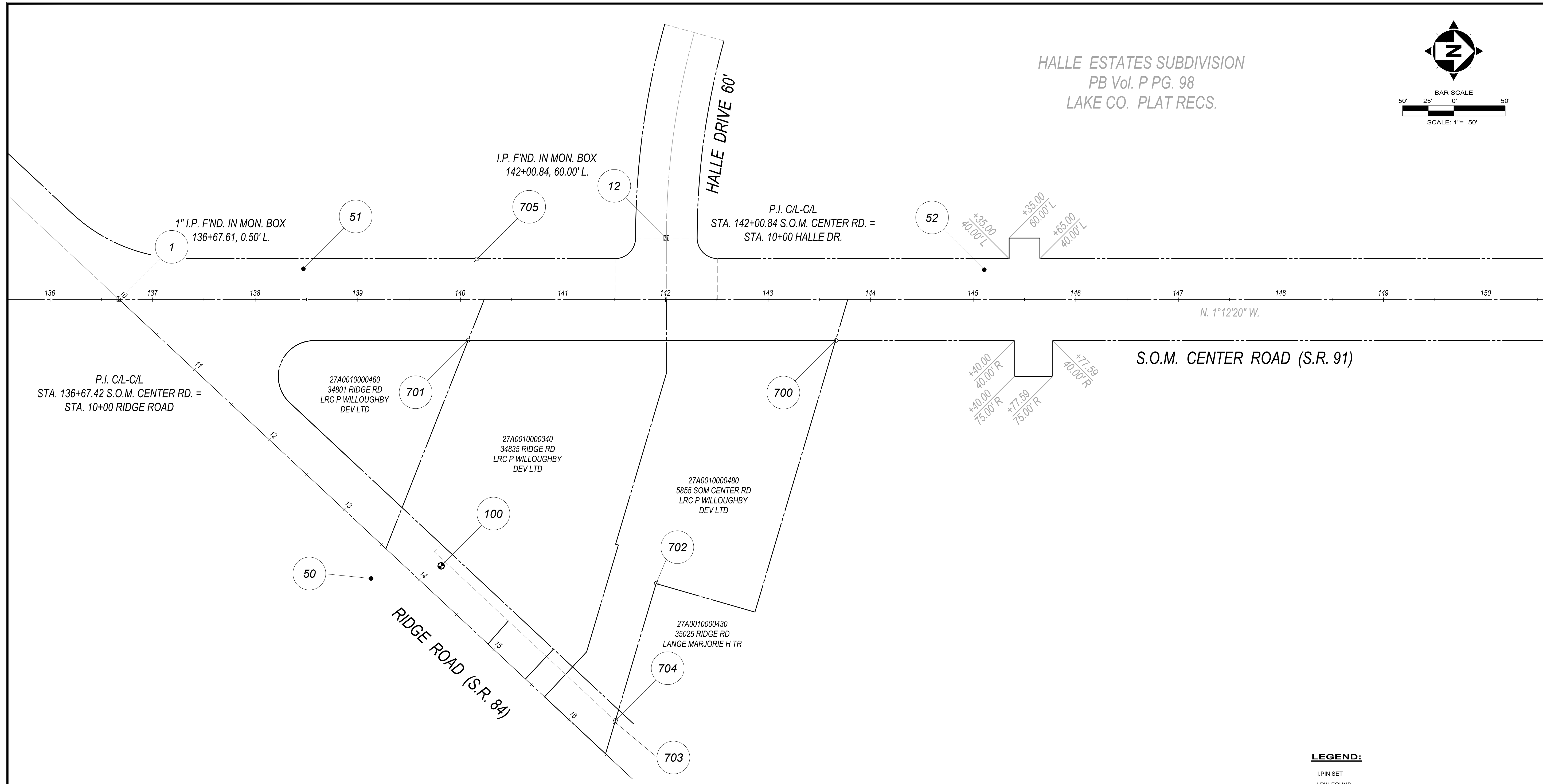
SPEED LIMIT (MPH)	BUFFER (D) (FT) MIN.
25	155
30	200
35	250
40	305
45	360
50	425
55	495
60	570

LEGEND





HALLE ESTATES SUBDIVISION
PB Vol. P PG. 98
LAKE CO. PLAT RECS.



LEGEND:

- I.PIN SET
- I.PIN FOUND
- I.PIPE FOUND
- LIMITS OF PUBLIC R/W
- CENTERLINE PUBLIC R/W
- PARCEL LINES

NOTES:

1. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS, EITHER RECORDED OR UNRECORDED. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, RECORD ENCUMBRANCES, RESTRICTIVE COVENANTS OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
2. THESE PLANS MAY HAVE BEEN ALTERED IN SIZE BY REPRODUCTION WHICH MUST BE CONSIDERED WHEN SCALING.
3. THE PROJECT CONTROL COORDINATE SYSTEM IS BASED UPON THE FOLLOWING:
 - HORIZONTAL DATUM - GPS/RTK OBSERVATIONS UTILIZING THE OHIO COORDINATE SYSTEM OF 1983 (ZONE 3401-OHIO NORTH). OHIO STATE PLANE GRID COORDINATE VALUES ARE EXPRESSED IN UNITS OF U.S. SURVEY FEET.
 - VERTICAL DATUM - NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. THE SURVEY AND STREET ALIGNMENTS SHOWN HEREON WERE OBSERVED IN THE FIELD FOR CONSTRUCTION PURPOSES ONLY AND MAY NOT BE SUITABLE FOR PROPERTY LINE SURVEYS OR OTHER PURPOSES. THE PROPERTY LINES SHOWN HEREON ARE SUBJECT TO AN ACCURATE BOUNDARY SURVEY AND ARE BASED ON FOUND MONUMENTS LOCATED IN THE FIELD AND BEST FIT TO THE RECORDS.
5. AN ALTA/ NSPS LAND TITLE SURVEY WAS NOT PERFORMED.
6. EASEMENTS, RECORD RESTRICTIONS AND SETBACKS WERE NOT ADDRESSED DURING THIS SURVEY.

POINT TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	708776.6866	2258442.2770	0.00	Monument Box (Fnd)
12	709308.5458	2258371.5702	0.00	Monument Box (Fnd)
50	709027.7670	2258709.6402	782.80	Iron Pin (Set)
51	708955.4121	2258408.8961	787.30	Iron Pin (Set)
52	709619.1161	2258395.9106	773.98	Iron Pin (Set)
100	709095.7401	2258695.8431	779.50	Benchmark (Set)
700	709475.9144	2258467.9803	776.30	Iron Pin (Fnd) 3/4" I.PIN BENT SHOT
701	709117.4345	2258475.1828	785.59	Iron Pin (Fnd) 5/8" I.PIN W/YELLOW "CXA"
702	709305.8251	2258708.4132	785.88	Iron Pin (Fnd) 1/2" I.PIN W/RIBBON .15"
703	709268.3126	2258844.6711	786.26	Iron Pin (Fnd) 1/2" I.PIN W/RIBBON AT
704	709268.7999	2258843.0243	786.22	Iron Pin (Fnd) 5/8" I.PIN W/YELLOW "JAY"
705	709124.2993	2258395.899	784.34	Mag Nail (Fnd)



DATE	REVISION	NO	ISSUED FOR:	REVIEW	DATE	SCALE:	PAPER SIZE:	DRAWN BY:	CHECKED BY:
					4/23/2026	1" = 60'	22" X 34"	RAS	TMM

SOM CENTER ROAD COMMERCIAL SIDEWALK ASSESSMENT
 SOM CENTER & RIDGE ROAD, WILLOUGHBY CITY, LAKE CO., OHIO
PROJECT CONTROL

PROJECT NO.	38798
DISCIPLINE	SURVEY
SHEET NAME	CTR
SHEET	4



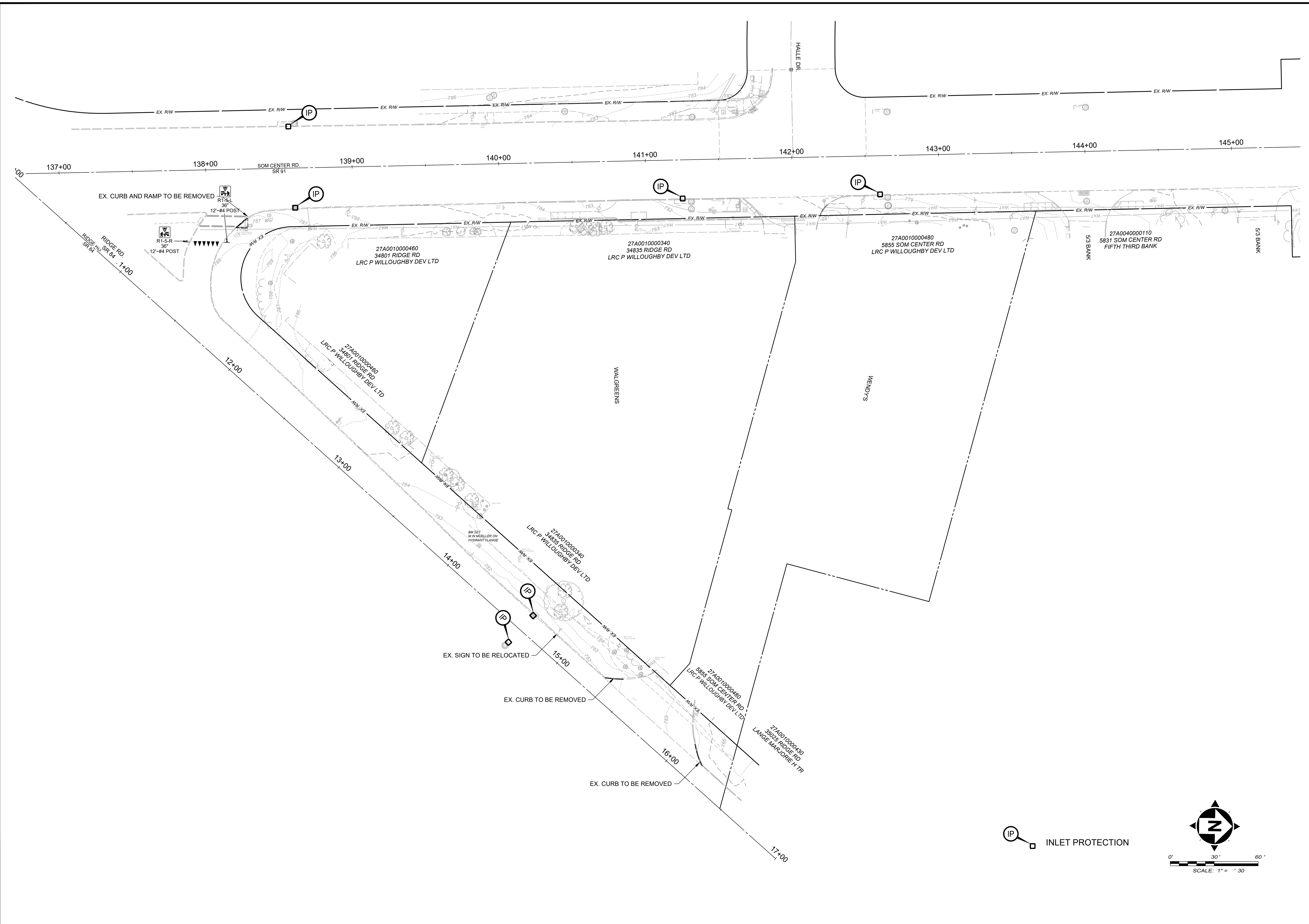
verdantas

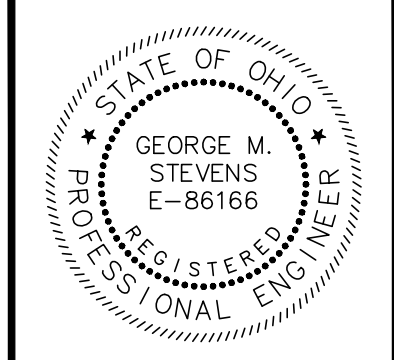
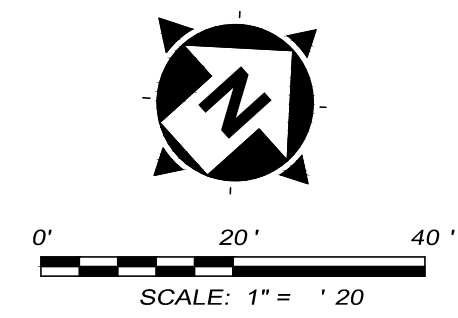
ISSUED FOR:	REVIEW	NO	REVISION	DATE
4/23/2026	4/23/2026			
AS SHOWN				
22" X 34"				
CKW				
GMS				

**SOM CENTER ROAD
COMMERCIAL SIDEWALK
ASSESSMENT**
SOM CENTER & RIDGE ROAD, WILLOUGHBY CITY, LAKE CO., OHIO

**EXISTING CONDITIONS
& DEMO PLAN**

PROJECT NO.	38798
DISCIPLINE	CIVIL
SHEET NAME	EX/DEMO
SHEET	5





NO	REVISION	DATE

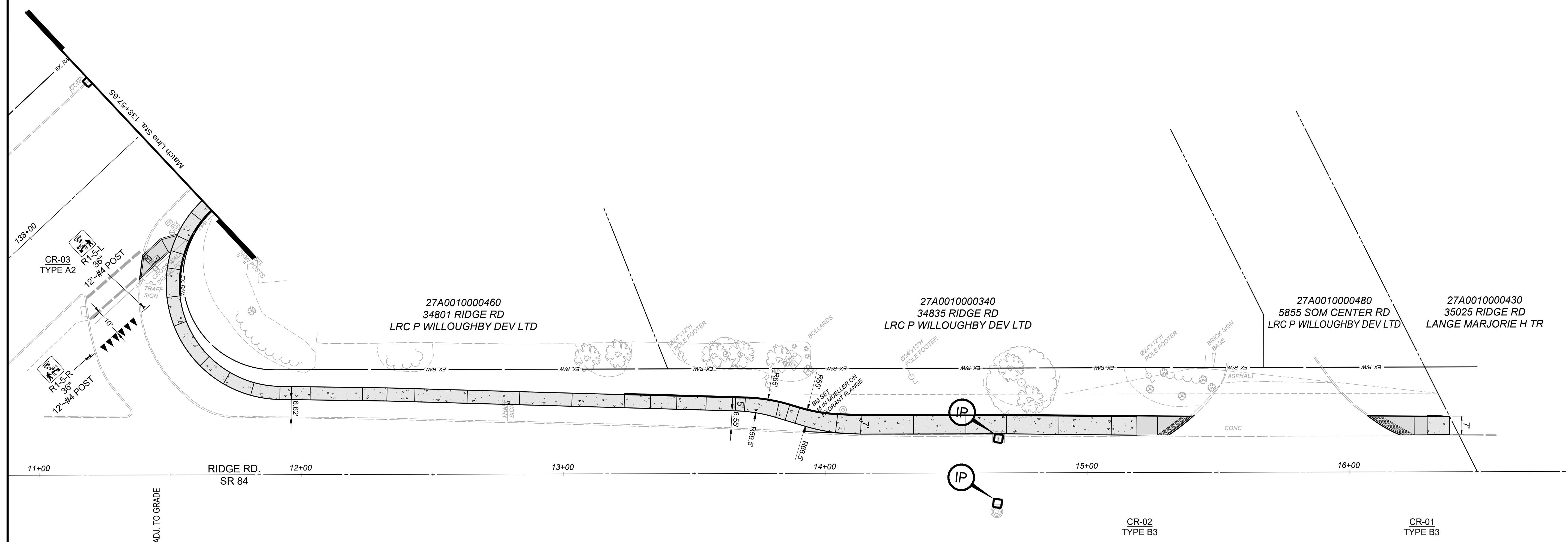
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AS SHOWN	4/23/2026			
SCALE: 22" X 34"	AS SHOWN			
PAPER SIZE: 22" X 34"				
DRAWN BY: CKW				
CHECKED BY: GMS				

**SOM CENTER ROAD
COMMERCIAL SIDEWALK
ASSESSMENT**

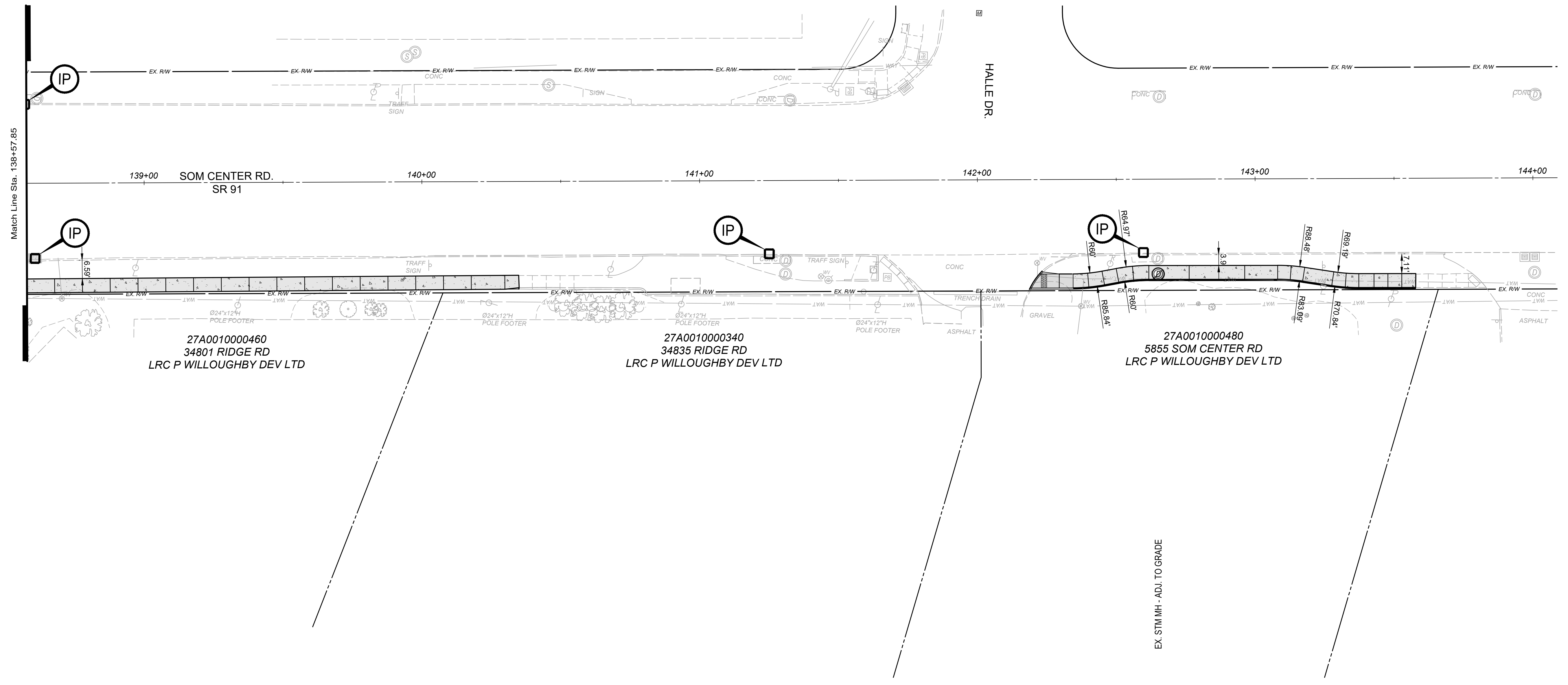
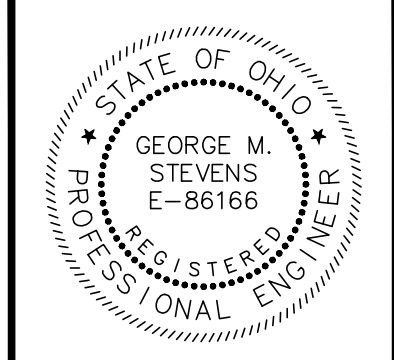
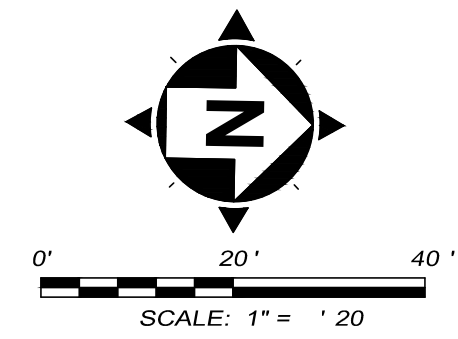
SOM CENTER & RIDGE ROAD, WILLOUGHBY CITY, LAKE CO., OHIO

**SITE PLAN 1
RIDGE ROAD & INTERSECTION**

PROJECT NO.	38798
DISCIPLINE	CIVIL
SHEET NAME	SITE 1
SHEET	6



HATCH LEGEND	
	CURB RAMP
	4-INCH WALK
	CURB, INTEGRATED WITH WALK OR TYPE 6



Match Line Sta. 138+57.85

27A0010000460
34801 RIDGE RD
LRC P WILLOUGHBY DEV LTD

27A0010000340
34835 RIDGE RD
LRC P WILLOUGHBY DEV LTD

27A0010000480
5855 SOM CENTER RD
LRC P WILLOUGHBY DEV LTD

EX-STMH - ADJ. TO GRADE

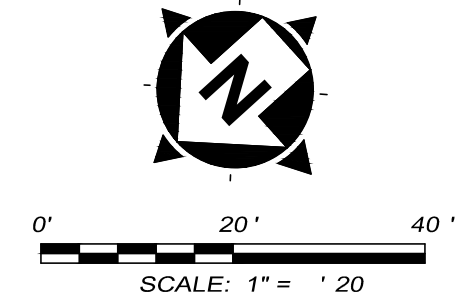
HATCH LEGEND	
	CURB RAMP
	4-INCH WALK
	CURB, INTEGRATED WITH WALK OR TYPE 6

ISSUED FOR:	REVIEW	NO	REVISION	DATE
ISSUE DATE: 4/23/2026	4/23/2026			
SCALE: AS SHOWN				
PAPER SIZE: 22" X 34"				
DRAWN BY: CKW				
CHECKED BY: GMS				

**SOM CENTER ROAD
COMMERCIAL SIDEWALK
ASSESSMENT**
SOM CENTER & RIDGE ROAD, WILLOUGHBY CITY, LAKE CO., OHIO

**SITE PLAN 2
SOM CENTER ROAD**

PROJECT NO. 38798
DISCIPLINE CIVIL
SHEET NAME SITE 2
SHEET 7

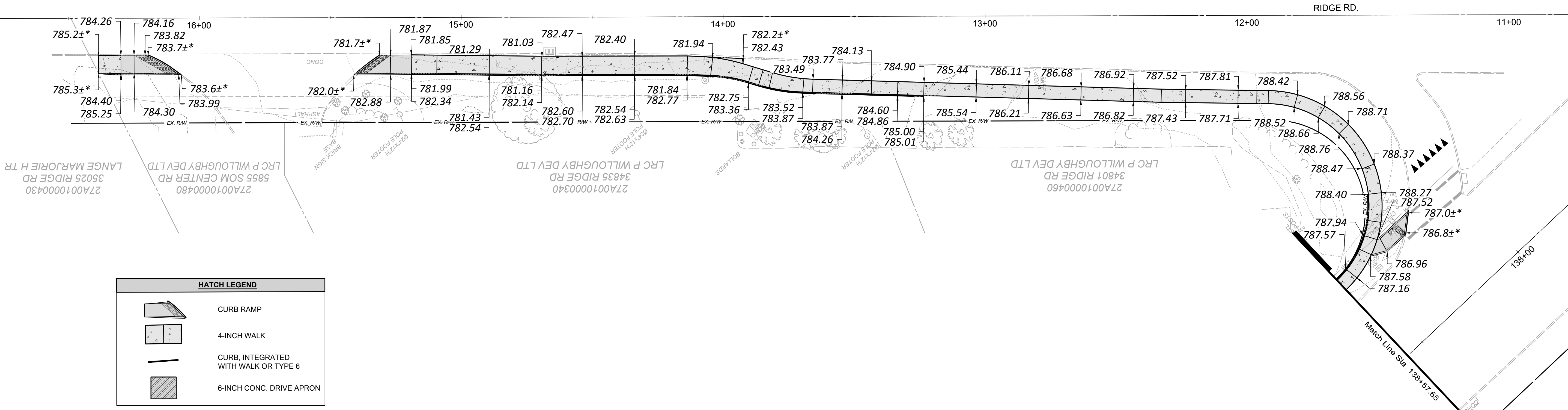


verdantas

NO	REVISION	DATE

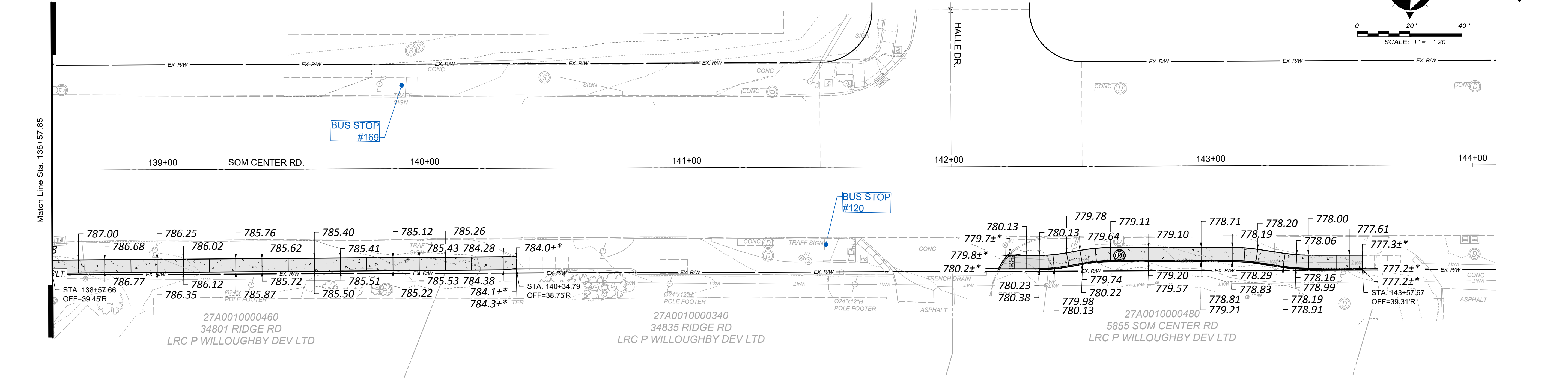
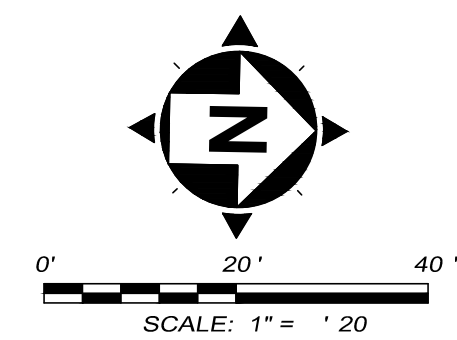
ISSUED FOR:	REVIEW	NO

ISSUE DATE:	SCALE:	PAPER SIZE:	DRAWN BY:	CHECKED BY:
4/23/2026	AS SHOWN	22" X 34"	CKW	GMS



HATCH LEGEND	
	CURB RAMP
	4-INCH WALK
	CURB, INTEGRATED WITH WALK OR TYPE 6
	6-INCH CONC. DRIVE APRON

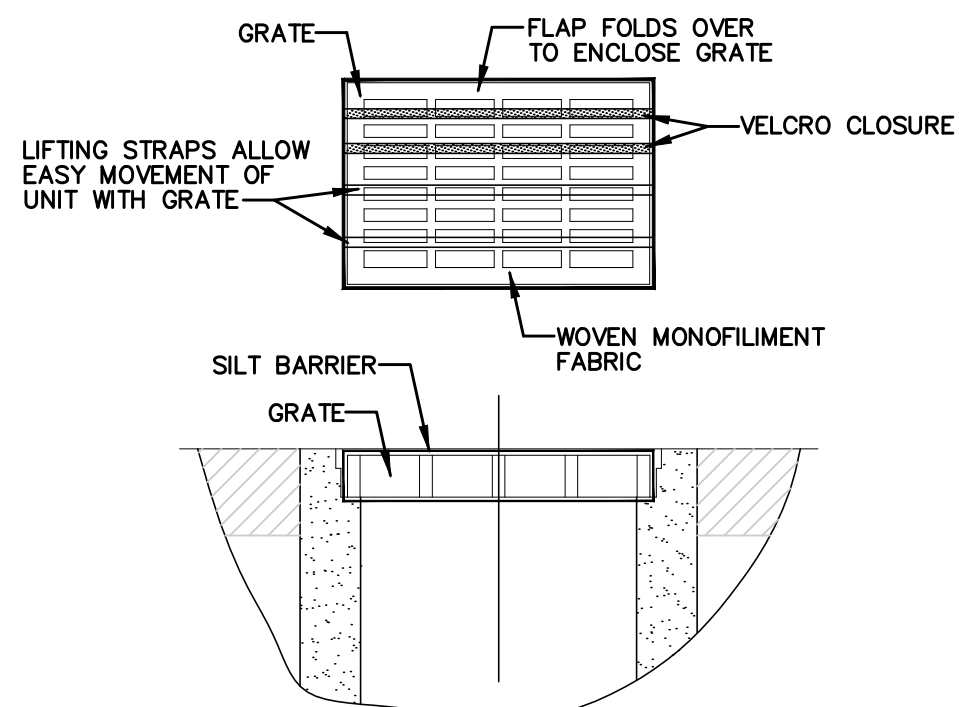
±* MATCH EXISTING ELEVATION/LENGTH/WIDTH



SOM CENTER ROAD COMMERCIAL SIDEWALK ASSESSMENT
 SOM CENTER & RIDGE ROAD, WILLOUGHBY CITY, LAKE CO., OHIO

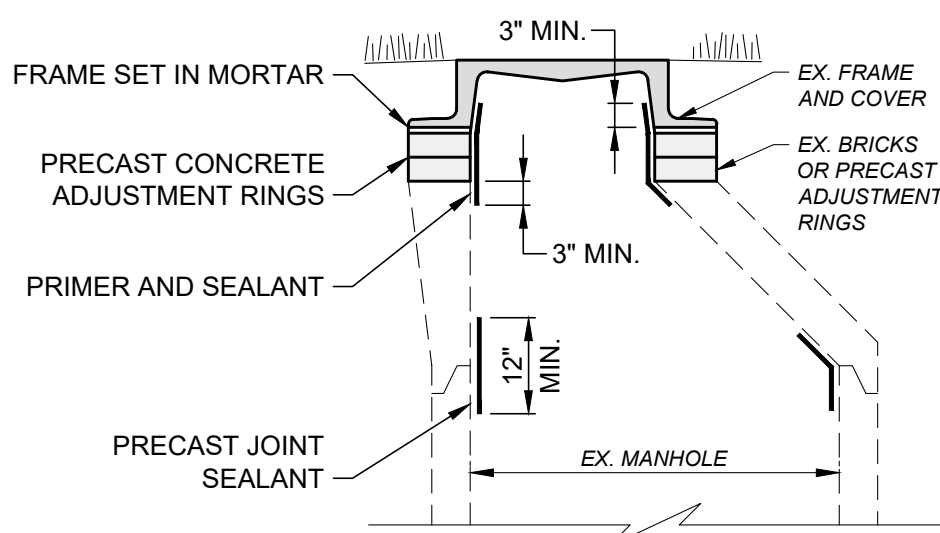
GRADING DETAILS

PROJECT NO.	38798
DISCIPLINE	CIVIL
SHEET NAME	GRDET
SHEET	9



1. GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT.
2. MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE SILT BARRIER AS NEEDED.
3. TO INSTALL CATCH BASIN INLET SILT BARRIER: THE EMPTY SILT BARRIER SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME.

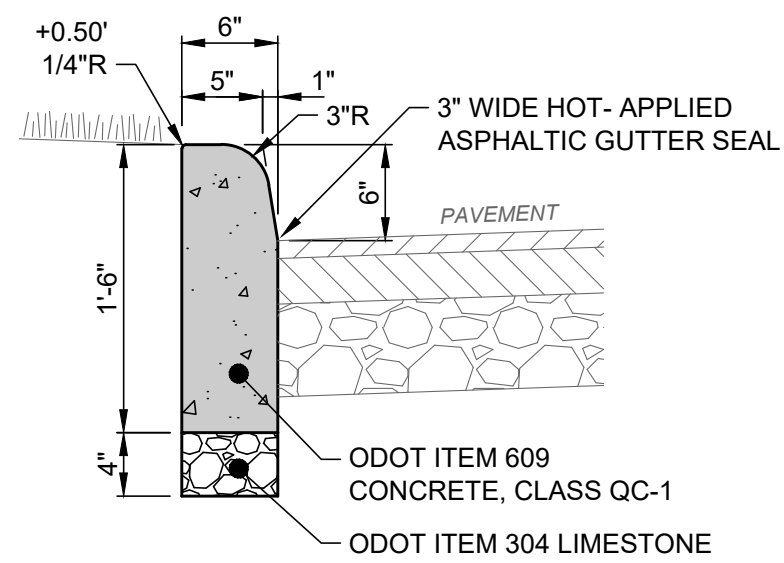
INLET PROTECTION FOR CATCH BASIN IN ROADWAY



1. REMOVE FRAME AND CASTING.
2. CLEAN SURFACES OF FRAME, CASTING AND PRECAST MANHOLE. REMOVE RUST, DEBRIS AND LOOSE MORTAR.
3. CLEAN SURFACES OF ADJUSTMENT RINGS OR BRICKS. REMOVE LOOSE BRICK AND MORTAR. IF EXCESSIVE BRICK DAMAGE, REPLACE WITH NEW ADJUSTMENT RINGS.
4. STOP ALL ACTIVE INTERNAL LEAKS WITH WATER PLUG.
5. FILL ALL VOIDS WITH CEMENTITIOUS GROUT. IF SURFACE IS ROUGH, IRREGULAR OR CONTAINS EXCESSIVE VOIDS THAT PREVENTS AN EFFECTIVE SEAL, APPLY PATCHING MIX TO PROVIDE A SMOOTH UNIFORM SURFACE. DRY INTERIOR SURFACES PER MANUFACTURER'S RECOMMENDATION.
6. APPLY PRIMER AND SEALANT (I.E. FLEX-SEAL) TO MANHOLE ADJUSTMENT RINGS. THICKNESSES SHALL BE PER MANUFACTURER'S RECOMMENDATION. APPLY TO ENTIRE SURFACE OF ADJUSTMENT RINGS, AS WELL AS MANHOLE STRUCTURE AND CASTING AT LEAST 3" ABOVE AND BELOW ADJUSTMENT RINGS. ALLOW PRIMER TO CURE PRIOR TO APPLYING SEALANT.

ADJUST MANHOLE CASTING & REHABILITATE ADJUSTMENT RING DETAIL

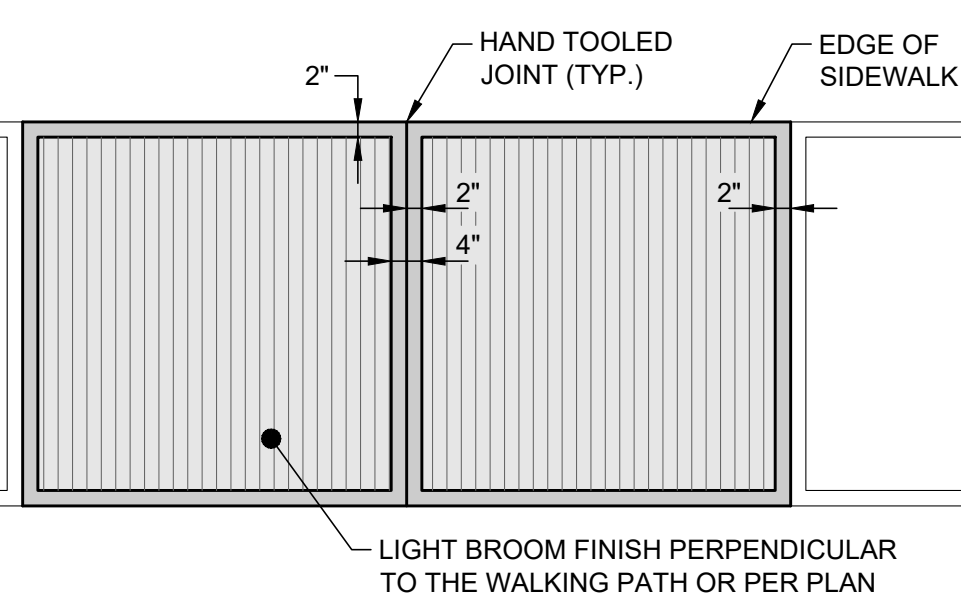
SCALE: NONE



1. INSTALL 1/2" PREFORMED JOINT MATERIAL AND USE 5/8"Ø X 18" LONG DOWELS INTO COLD JOINTS TOP AND BOTTOM WHERE NEW CURB MEETS EXISTING CURB.
2. PROVIDE CONTRACTION JOINTS AT 10' O.C.
3. APPLY LIQUID-MEMBRANE CURING COMPOUND.
4. THIS DETAIL SHOWS ASPHALT PAVEMENT FOR REFERENCE ONLY. SEE SITE PLAN FOR ACTUAL TYPE OF PAVEMENT.

(ODOT TYPE 6) 6" VERTICAL CURB DETAIL

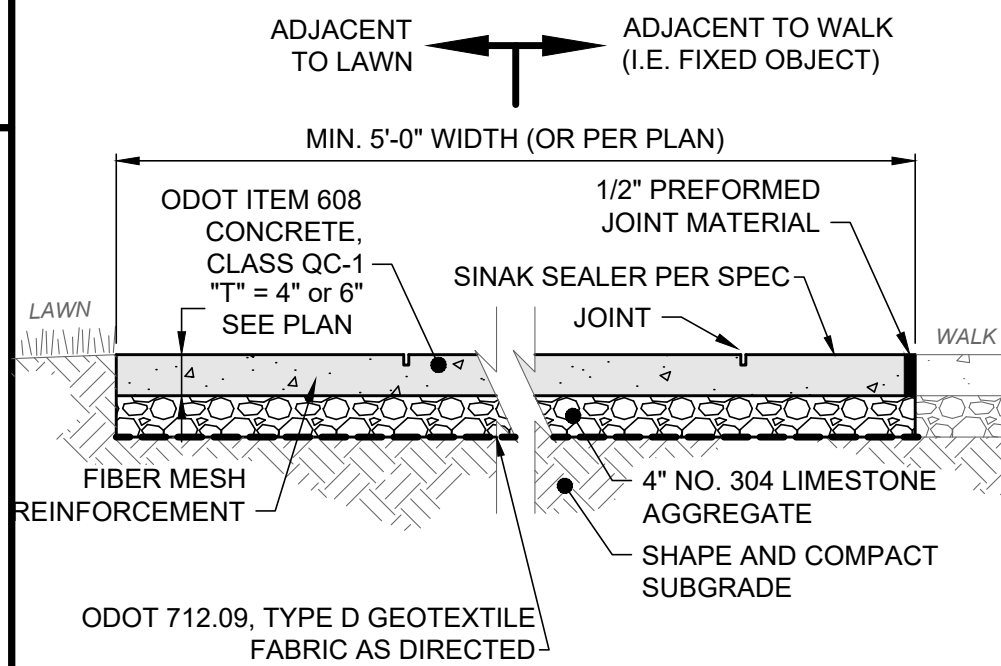
SCALE: NONE



1. THIS DETAIL IS FOR REFERENCE AND DIMENSION CONTROL ONLY; SEE LAYOUT PLAN FOR LOCATIONS.
2. HAND TOOLED JOINTS AND EDGES SHALL BE APPLIED AFTER PANEL INTERIOR TEXTURE HAS BEEN APPLIED TO CREATE A "WINDOW PANE" EFFECT AROUND EACH PANEL.
3. TOOLED EDGE SHALL BE 2" WIDTH EACH SIDE OF JOINT.

CONCRETE SIDEWALK JOINT AND FINISH DETAIL

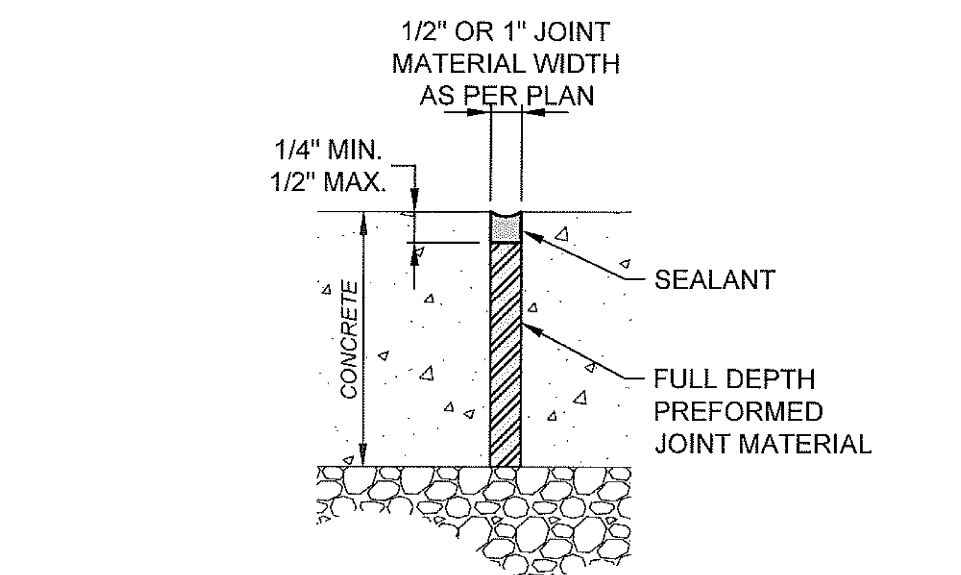
SCALE: NONE



1. SEE LAYOUT PLAN FOR JOINT LOCATIONS. IF JOINTS ARE NOT PROVIDED, THEN THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL JOINTS. DIVIDE JOINTS INTO EQUALLY SPACED RECTANGULAR BLOCKS.
2. SAW CUT OR HAND TOOL JOINT 1/8" WIDE BY 1/4" OF "T" DEEP.
3. ROUND ALL EDGES AND JOINTS WITH A 1/4" RADIUS.
4. INSTALL PREFORMED JOINT MATERIAL EVERY 40', OR BETWEEN SIDEWALK AND FIXED OBJECT (I.E. DRIVEWAY APRONS). WALK SHOWN FOR REFERENCE ONLY.
5. [SEE SEPARATE "EXPANSION JOINT W/ SEALANT" DETAIL.]
6. LIGHTLY BROOM THE FINISH PERPENDICULAR TO THE WALKING PATH OR PER PLAN. IF HAND TOOLED JOINTS AND EDGES ARE SPECIFIED, FINISH AFTER PANEL INTERIOR TEXTURE HAS BEEN APPLIED (I.E. WINDOW PANE EFFECT).
7. APPLY LIQUID-MEMBRANE CURING COMPOUND (200 S.F./GAL.)
8. SIDEWALKS THROUGH DRIVEWAYS SHALL BE A MINIMUM OF 6" OR MATCH EXISTING IF GREATER THAN 6".

CONCRETE WALK DETAIL

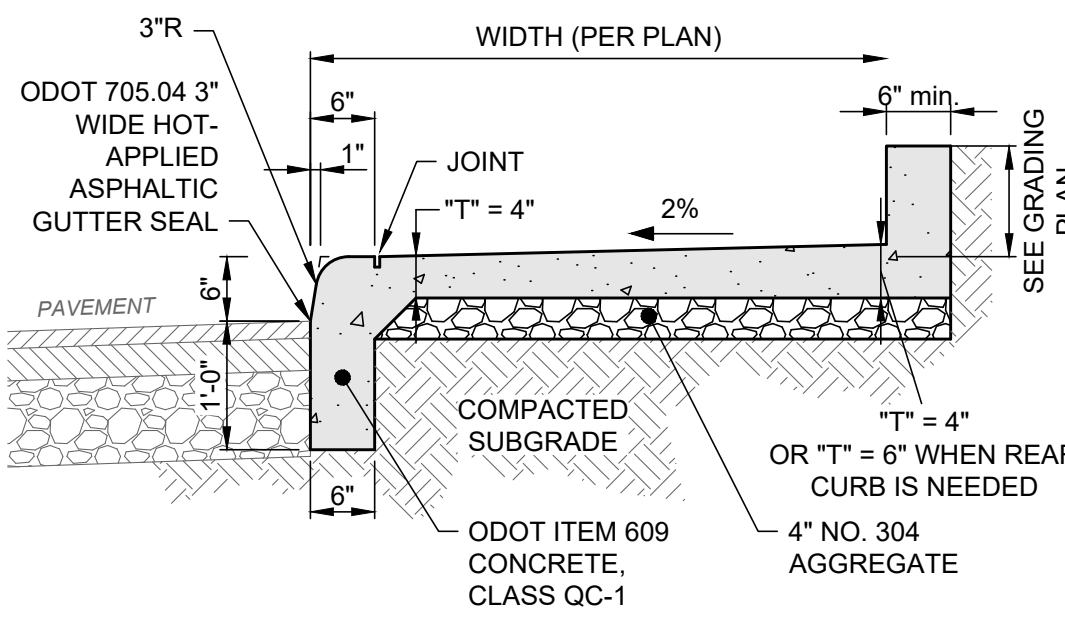
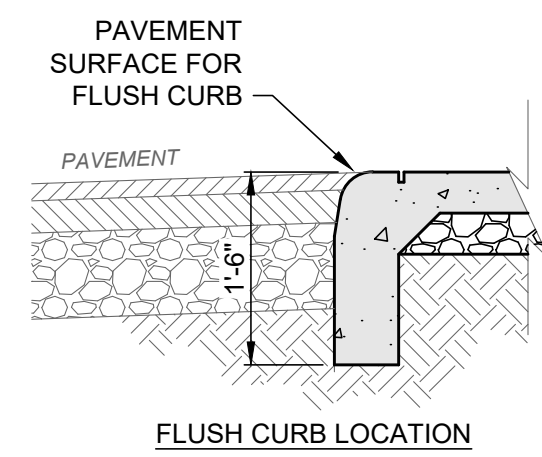
SCALE: NONE



1. INSTALL PREFORMED JOINT MATERIAL EVERY 30', OR BETWEEN SIDEWALK AND FIXED OBJECT (I.E. MANHOLE, WALK, BUILDING).
2. SEALANT SHALL BE POLYURETHANE-BASED, NON-SAG ELASTOMERIC SEALANT FOR BOTH HORIZONTAL AND VERTICAL JOINTS (I.E. SIKAFLEX + CONSTRUCTION SEALANT).
3. SEALANT COLOR SHALL MATCH ADJACENT CONCRETE OR COLOR CHOSEN BY OWNER OR ARCHITECT.

EXPANSION JOINT W/ SEALANT DETAIL

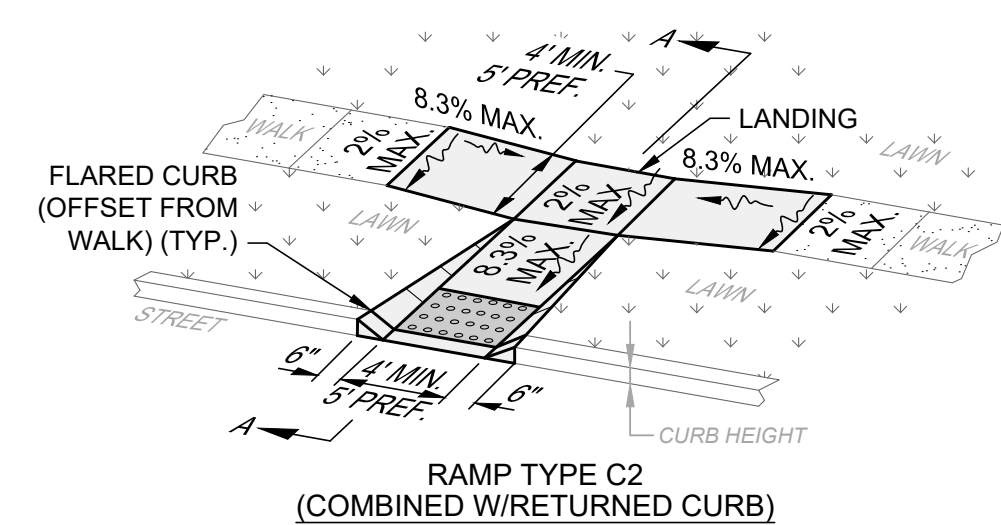
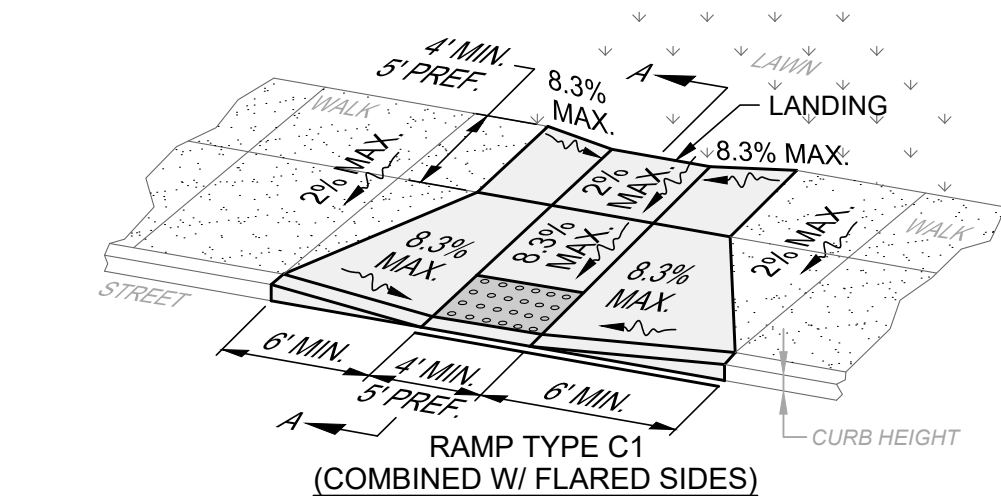
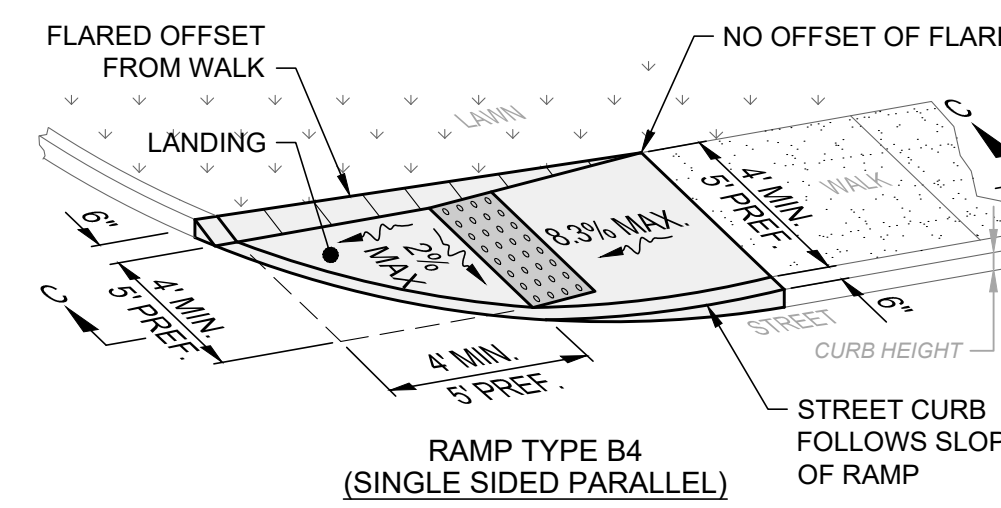
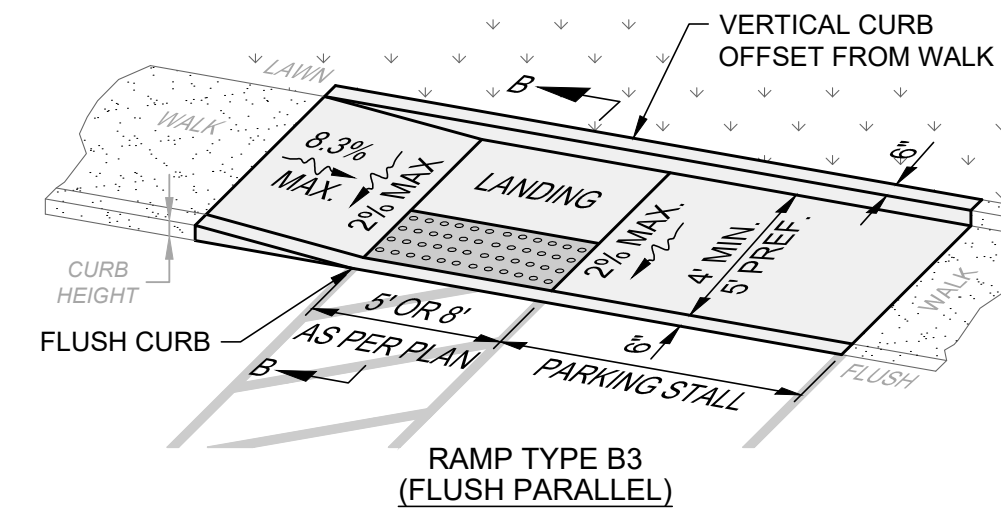
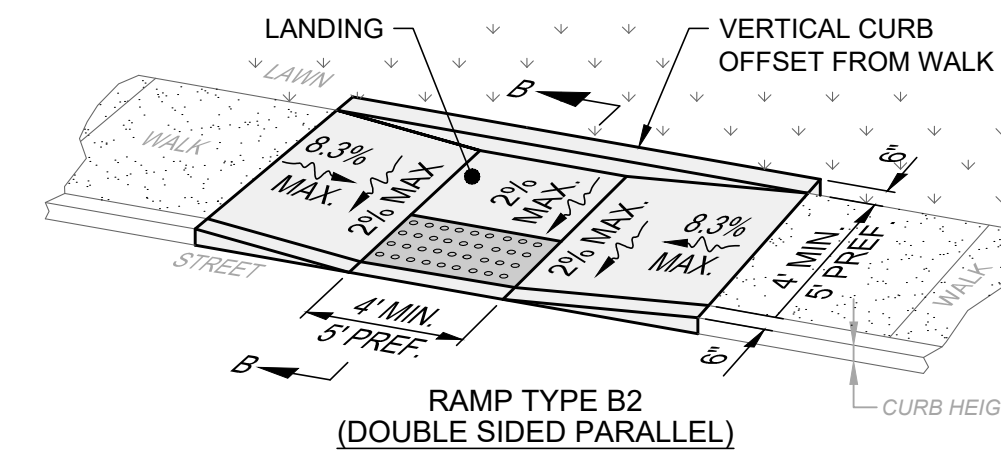
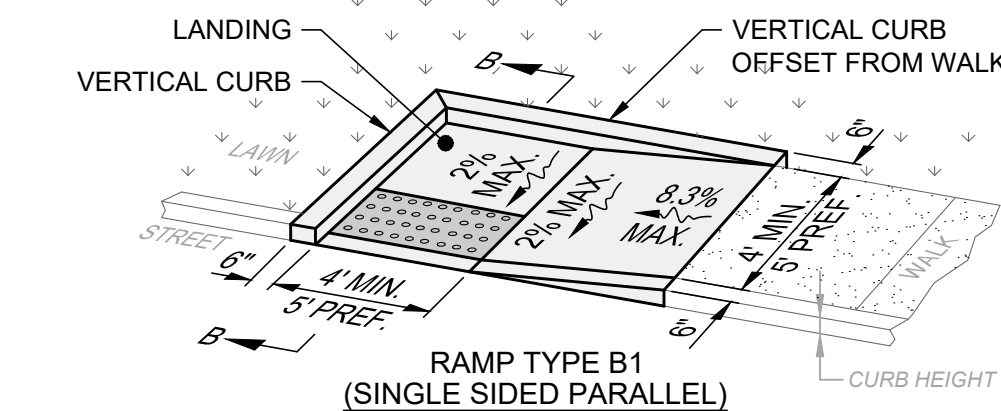
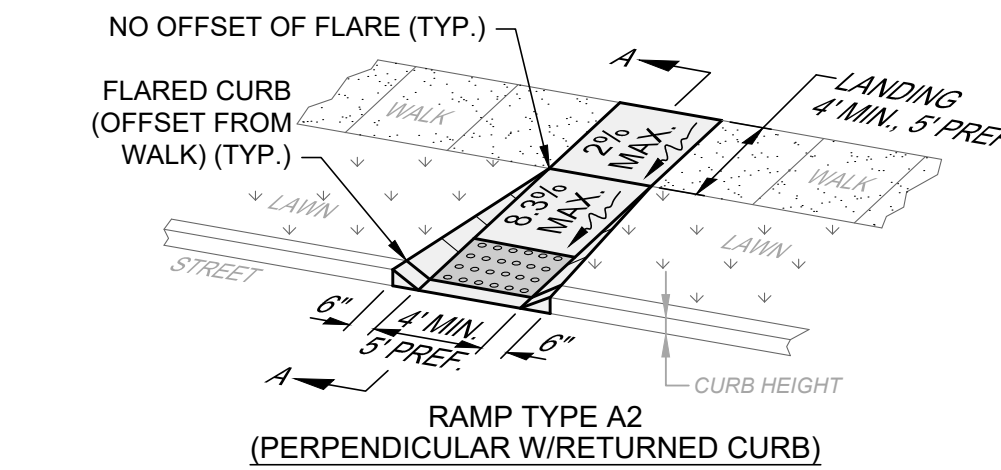
SCALE: NONE



1. THIS DETAIL PROVIDES ADDITIONAL INFORMATION FOR INTEGRAL CURB AND WALK; SEE SEPARATE "CONCRETE WALK" DETAIL FOR ADDITIONAL REQUIREMENTS.
2. FRONT INTEGRATED CURB ONLY WHEN WALK IS ADJACENT TO ROAD.

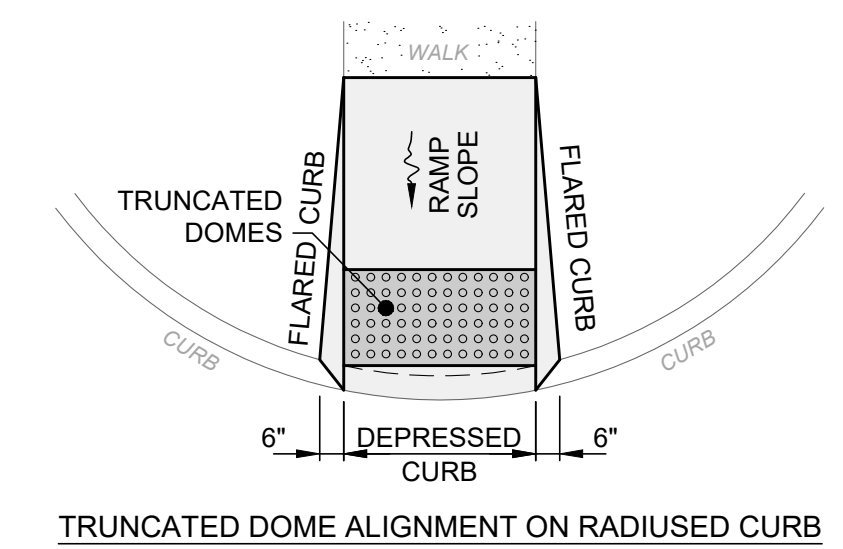
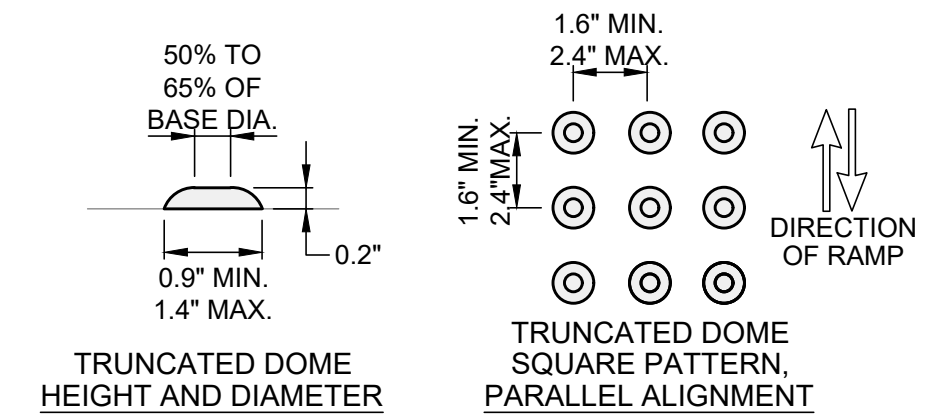
CONCRETE INTEGRAL CURB AND WALK DETAIL

SCALE: NONE

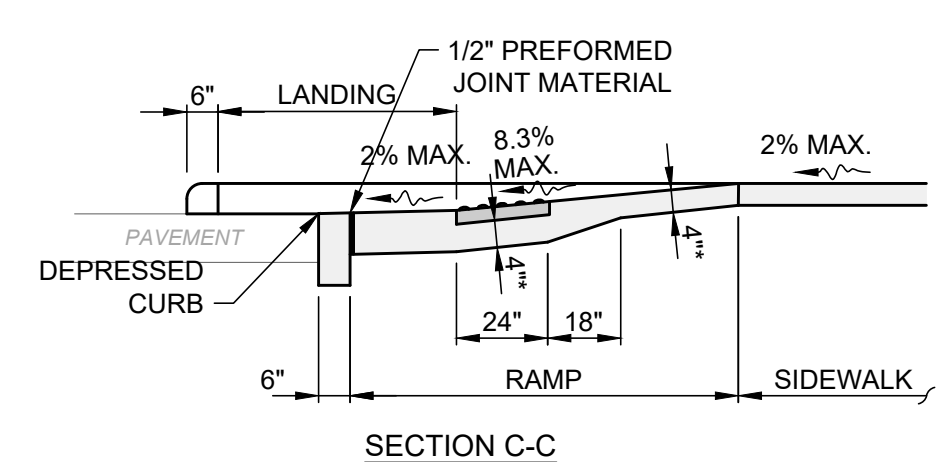
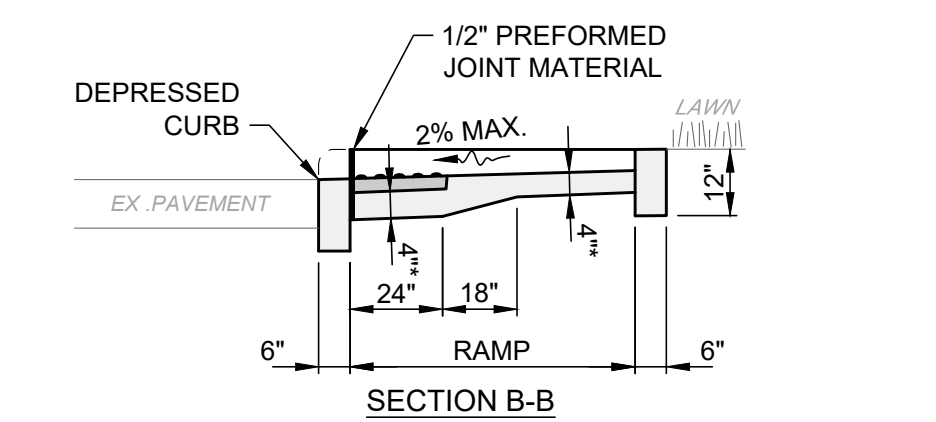
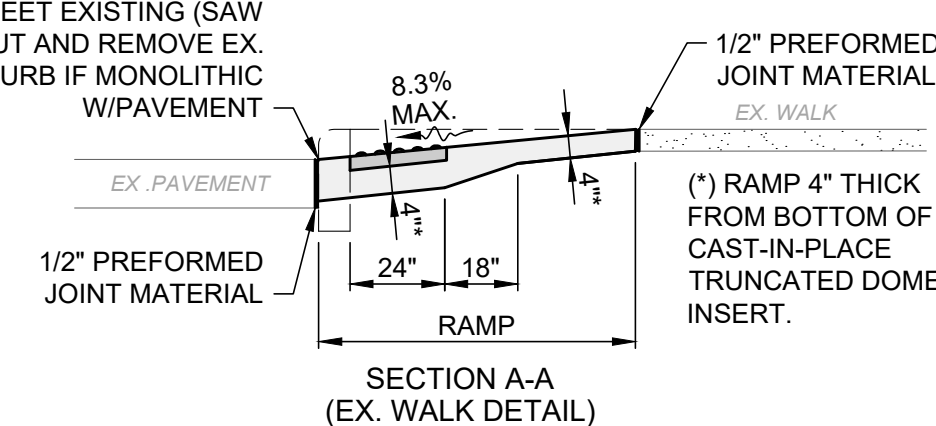
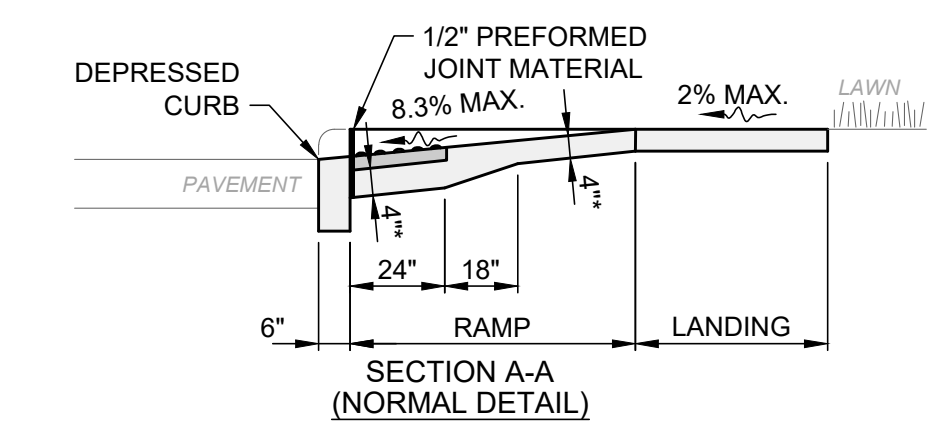


ACCESSIBLE CURB RAMPS DETAIL

SCALE: NONE



TRUNCATED DOME ALIGNMENT ON RADIUS CURB



1. THIS DETAIL IS FOR REFERENCE ONLY; NOT ALL ITEMS MAY APPLY OR DIFFERENT CONFIGURATIONS MAY BE REQUIRED. SEE LAYOUT PLAN FOR RAMP TYPE, CONFIGURATION, DIMENSIONS AND DEPRESSED CURB LOCATION; GRADING PLAN FOR ELEVATIONS AND SLOPES; AND DETAIL SHEETS FOR APPLICABLE WALK AND CURB DETAILS.
2. LINES SHOWN IN THIS DETAIL INDICATE RAMP EDGES AND CHANGES IN SLOPE, AND NOT NECESSARILY JOINT LINES.
3. TEXTURE CONCRETE SURFACE BY COARSE BROOMING TRANSVERSE TO RAMP SLOPE.
4. ALL RAMPS SHALL BE POURED INTEGRAL WITH NEW CURBS WITH CURB EDGE FLUSH TO PAVEMENT.
5. TRUNCATED DOMES SHALL BE ALONG THE FULL RAMP WIDTH AND ALIGNED WITH THE PRIMARY RAMP DIRECTION.
6. TRUNCATED DOMES SHALL BE INSTALLED FLUSH WITH BACK OF CURB. IN SKEWED CONDITION, ONE CORNER OF THE STRIP MUST BE ADJACENT TO BACK OF CURB. TRUNCATED DOME MATERIALS SHALL BE MITERED AND PLACED SEGMENTALLY FOR NON-STANDARD LAYOUTS.
7. ONLY CAST-IN-PLACE TRUNCATED DOMES ARE ALLOWED.
8. TRUNCATED DOME COLOR SHALL BE BRIGHT RED, ORANGE RED OR FEDERAL YELLOW AND CONTRAST WITH CONCRETE.



DATE	REVISION	NO	ISSUED FOR	REVIEW	DATE
			4/23/2026	AS SHOWN	22' X 34'
			SCALE:		
			PAPER SIZE:		
			DRAWN BY:		
			CHECKED BY:		

SOM CENTER ROAD COMMERCIAL SIDEWALK ASSESSMENT
SOM CENTER & RIDGE ROAD, WILLOUGHBY CITY, LAKE CO., OHIO

PROJECT NO.	38798
DISCIPLINE	CIVIL
SHEET NAME	DET
SHEET	10